

THE CITY OF DAWSON



COMMITTEE OF THE WHOLE MEETING #CW19-01

DATE: MONDAY, JANUARY 21, 2019

TIME: 7:00 PM

LOCATION: Council Chambers, City Office

- 1. CALL TO ORDER**
- 2. ACCEPTANCE OF ADDENDUM & ADOPTION OF AGENDA**
 - a) Committee of Whole Agenda CW19-01
- 3. DELEGATIONS AND GUESTS**
 - a) KATTS
- 4. ADOPTION OF THE MINUTES**
 - a) Committee of Whole Meeting Minutes CW18-31 of December 17, 2018
- 5. BUSINESS ARISING FROM THE MINUTES**
 - a) Committee of Whole Meeting Minutes CW18-31 of December 17, 2018
- 6. SPECIAL MEETING, COMMITTEE, AND DEPARTMENTAL REPORTS**
 - a) Request for Decision RE: Deputy Mayor Appointments
 - b) Request for Decision RE: Yukon Quest Vouchers
 - c) Request for Decision RE: Development Permit #18-108: Parks Canada Mechanical Room Demolition
 - d) Request for Decision RE: Subdivision Application #18-107: Lot 1077-1 Klondike Highway
 - e) Information Report RE: North End Plan Update
 - f) Request for Decision RE: CAO CAMA & FCM Attendance
- 7. BYLAWS AND POLICIES**
 - a) *Official Community Plan Bylaw #2018-18*
 - b) *Zoning Bylaw #2018-19*
- 8. PUBLIC QUESTIONS**
- 9. INCAMERA SESSION**
 - a) Land Related Matter
- 10. ADJOURNMENT**

MINUTES OF COMMITTEE OF WHOLE MEETING CW18-31 of the council of the City of Dawson called for 7:00 PM on Wednesday, December 17, 2018 in the City of Dawson Council Chambers.

PRESENT:

| | |
|------------|-----------------|
| Mayor | Wayne Potoroka |
| Councillor | Natasha Ayoub |
| Councillor | Stephen Johnson |
| Councillor | Molly Shore |

ALSO PRESENT:

| | |
|-----|---------------|
| CAO | Cory Bellmore |
| CDO | Clare Huffman |

Agenda Item: Call to Order

The Chair, Wayne Potoroka called the meeting to order at 7:00 p.m.

Agenda Item: Agenda

CW18-31-01 Moved by Mayor Potoroka, seconded by Councillor Shore that the agenda for committee of the whole meeting #CW18-31 be accepted as presented. Carried 4-0

Agenda Item: Delegations and Guests

a) Drew Mac Neil & Marc Cattet, Department of Environment RE: Animal Care and Control Review

The Department of Environment is seeking feedback on the Review of Animal Protection and Control Framework in Yukon through a Discussion Document & Survey Questions. The purpose is a legislative review of various Acts in Yukon that pertain to animal protection

Would the City of Dawson consider a Service Agreement that would have municipal bylaw staff service areas outside of our municipal boundary?

Would territorial wide legislation regarding animal protection make this easier or better?

The City of Dawson does have mutual aid agreements with other agencies, this possibility would depend on the capacity and resources available. Would need to discuss this first with City of Dawson bylaw staff.

Agenda Item: Adoption of the Minutes

a) Committee of the Whole Meeting Minutes CW18-29 of November 26, 2018

CW18-31-02 Moved by Mayor Potoroka, seconded by Councillor Ayoub that the minutes for committee of the whole meeting #CW18-29 be accepted as amended. Carried 4-0

Amendments being: resolutions 5-9 and 10-12 are showing Councillor Johnson moving and seconding the motions.

b) Special Committee of the Whole Meeting Minutes CW 18-30 of December 5, 2018

CW18-31-03 Moved by Mayor Potoroka, seconded by Councillor Shore that the minutes for special committee of the whole meeting #CW18-30 be accepted as amended. Carried 4-0

Agenda Item: Special Meeting, Committee and Departmental Reports

a) Request for Decision RE: 2019 Meeting Dates

C18-31-04 Moved by Mayor Potoroka, seconded by Councillor Shore that committee of whole forwards the request for decision RE: Council and Committee of the Whole 2019 Regular Meeting Dates to council with a recommendation to approve Schedule #1 as presented. table Carried 4-0

b) Request for Decision RE: Subdivision Application #18-138: Lots 5-8, Block R, Ladue Estate

C18-31-05 Moved by Mayor Potoroka, seconded by Councillor Shore that committee of the whole forwards the request for decision RE: Subdivision Application #18-138: Lots 5-8, Block R, Ladue Estate to council with a recommendation to approve with the following conditions added:

1.6 – the applicant shall receive an approved development permit

1.7 – the passing through 3rd and final reading of ZBL 2018-19

1.8 – that council enters into an approved development incentive agreement

Carried 4-0

c) Councillor Report RE: Association of Yukon Communities Update

C18-31-06 Moved by Mayor Potoroka, seconded by Councillor Ayoub that committee of the whole acknowledges the verbal Councillor Report RE: Association of Yukon Communities Update for information purposes. Carried 4-0

Agenda Item: Bylaws and Policies

a) Request for Decision RE: Draft 2018-05 Encroachment Policy

C18-31-07 Moved by Mayor Potoroka, seconded by Councillor Shore that committee of the whole forwards the Draft Encroachment Policy #2018-05 to council with a recommendation to approve.

C18-31-08 Moved by Mayor Potoroka, seconded by Councillor Johnson that committee of whole move in camera for purposes of discussing land related matter Carried 4-0

C18-31-09 Moved by Mayor Potoroka, seconded by Councillor Ayoub that committee of the whole move to an open session of committee of whole. Carried 4-0
Main Motion Carried 4-0

b) 2018 Official Community Plan Bylaw #2018-18

C18-31-12 Moved by Mayor Potoroka, seconded by Councillor Shore that committee of the whole forwards the 2018 Official Community Plan Bylaw #2018-18 to council with a recommendation to approve with proposed changes 1, 2, 4, and 5.2 as presented in the RFD. Carried 4-0

c) 2018 Zoning Bylaw #2018-19

C18-31-13 Moved by Councillor Shore, seconded by Mayor Potoroka that committee of the whole forwards the 2018 Zoning Bylaw #2018-19 to council with a recommendation to approve with proposed changes 1, 2, 4, and 5.2 as presented in the RFD. Carried 4-0

- C18-31-14** Moved by Mayor Potoroka, seconded by Councillor Shore that committee of the whole extends meeting CW 18-31 no later than 11 pm.
Carried 3-1

Agenda Item: In camera Session

- C18-31-15** Moved by Mayor Potoroka, seconded by Councillor Ayoub that committee of the whole move into a closed session for the purposes of discussing a legal related matter and holding a strategic planning session as authorized by section 213 (3) of the Municipal Act.
Carried 4-0
- C18-31-16** Moved by Mayor Potoroka, seconded by Councillor Johnson that committee of the whole reverts to an open session of committee of the whole and proceeds with the agenda.
Carried 4-0

Agenda Item: Adjournment

- C18-31-17** Moved by Mayor Potoroka, seconded by Councillor Johnson that committee of the whole meeting CW18-31 be adjourned at 10:55 p.m. Carried 4-0

**THE MINUTES OF COMMITTEE OF WHOLE MEETING CW18-31 WERE APPROVED BY
COMMITTEE OF WHOLE RESOLUTION #CW19-01-__ AT COMMITTEE OF WHOLE MEETING
CW19-01 OF JANUARY 21, 2019.**

Wayne Potoroka, Chair

Cory Bellmore, CAO

Report to Council



☒ For Council Decision ☐ For Council Direction ☐ For Council Information

☐ In Camera

| | | |
|---|---------------------------|--------------------------|
| AGENDA ITEM: | Deputy Mayor Appointments | |
| PREPARED BY: | CAO | ATTACHMENTS: ▪ |
| DATE: | January 16, 2019 | |
| RELEVANT BYLAWS / POLICY / LEGISLATION: ▪ <i>Council Proceedings Bylaw #11-12 Section 6</i> | | |

RECOMMENDATION

That council hereby makes the following appointments for the 2019 calendar year with respect to the position of Deputy Mayor:


Councillor _____ for the months January, February and March,

Councillor _____ for the months April, May, and June,

Councillor _____ for the months July, August, and September,

Councillor _____ for the months October, November, and December.

APPROVAL

| | | |
|--------------|--------------------|---|
| NAME: | Cory Bellmore, CAO | SIGNATURE:  |
| DATE: | Jan 17, 2019 | |

Report to Council



☒ For Council Decision ☐ For Council Direction ☐ For Council Information

☐ In Camera

| | | |
|--|-----------------------------|--|
| AGENDA ITEM: | Yukon Quest Community Grant | |
| PREPARED BY: | Cory Bellmore | ATTACHMENTS: <ul style="list-style-type: none">▪ Dawson City Checkpoint – Yukon Quest Community Grant Application |
| DATE: | January 16, 2019 | |
| RELEVANT BYLAWS / POLICY / LEGISLATION: <ul style="list-style-type: none">▪ Community Grant Policy #16-01 | | |

RECOMMENDATION

That Council approve providing 25 Dawson Dollars for the welcome to Dawson package for each Yukon Quest Musher, for a total value of \$775.

ISSUE / PURPOSE

The Dawson City Checkpoint – Yukon Quest submitted a community grant application for the January 15, 2019 intake to cover the cost of the Dawson Dollars for each musher. However, it is anticipated the next community grant meeting to be delayed due to absences. The Dawson City Checkpoint will be putting the welcome to Dawson packages together on February 5th and they are hoping to include the Dawson Dollars. Administration is therefore bringing the request directly to council due to the time sensitivity. Historically, this has been a grant provided annually for many years.

APPROVAL

| | | |
|--------------|--------------------|---|
| NAME: | Cory Bellmore, CAO | SIGNATURE:  |
| DATE: | Jan 17, 2019 | |



THE CITY OF DAWSON

P.O BOX 308, DAWSON CITY, YUKON Y0B 1G0

PH: (867) 993-7400, FAX: (867) 993-7434



APPENDIX "A"

CITY OF DAWSON GRANT APPLICATION

CONTACT INFORMATION

NAME OF ORGANIZATION: Dawson City Checkpoint - Yukon Quest
CONTACT PERSON: Gaby Sgaga POSITION: Checkpoint Manager
ADDRESS: Box 1067 Dawson City
PHONE: 993-3838 FAX: —
EMAIL ADDRESS: westsidegaby@gmail.com

PROJECT INFORMATION

NAME OF PROJECT: City Welcome Package for Quest mushers

PROJECT DESCRIPTION: (Please provide a detailed overview of project; attach additional papers if needed)

31 mushers, their handlers, friends & family
will be coming to Dawson w/o Feb 5-10...
a welcome package including \$25 worth of
Dawson dollars from the City will ^{feature} ~~the~~ City
involvement in an annual event & promote spending
at local businesses

EXPECTED BENEFITS TO THE COMMUNITY: Welcoming and
good impression of Dawson, promoting potential
future tourism, & increased patronage
at local businesses

HOW WILL THE CITY OF DAWSON BE PUBLICLY RECOGNIZED? City's name

~~is on the package~~ will be included in the package with
the City's name on thank you board at
checkpoint, & a thank you in the paper.

PROPOSED BUDGET

EXPENSES:**DESCRIPTION OF EXPENSE(S)**

AMOUNT

31 mushrooms x

\$25 Johnson \$

15/775

TOTAL EXPENSES:

\$

775. en

REVENUE / FUNDING SOURCES:

DESCRIPTION OF REVENUE SOURCE

AMOUNT

Funding requested from the City of Dawson

Funding provided by your organization

Funding from fundraising

Funding from other sources:

51 775-00

TOTAL REVENUES:

\$

77.5

Signature

Date _____

PLEASE RETURN COMPLETED FORM TO

City of Dawson
Box 308, Dawson City, YT Y0B 1G0

Report to Council



☒ For Council Decision ☐ For Council Direction ☐ For Council Information

☐ In Camera

| | | |
|---|---|---|
| SUBJECT: | Development Permit #18-108: Parks Canada Mechanical Room Demolition | |
| PREPARED BY: | Clarissa Huffman, CDO | ATTACHMENTS: 1. Development Permit #18-108 and Supporting Documentation 2. Development Permit #18-109 and Supporting Documentation |
| DATE: | January 8, 2019 | |
| RELEVANT BYLAWS / POLICY / LEGISLATION: Zoning By-Law | | |

RECOMMENDATION

It is respectfully recommended that Council

1. Decline the request to waive the redevelopment security deposit.
2. Select one of the following options:
 - 2.1. Recommend approval of Development Permit #18-108, subject to the following conditions:
 1. A security of \$1.00 per square foot of the lot under consideration will be posted to ensure that the intended re-development proceeds.
 2. Redevelopment reuses original windows and siding where appropriate, as per the Standards and Guidelines for the Conservation of Historic Places in Canada.
 3. A Landscaping Plan is submitted to the satisfaction of the Heritage Advisory Committee and the Community Development Officer.
 - 2.2. Table Development Permit Application #18-108 and request additional clarification from Parks Canada about the rationale for demolition over the other three options.

ISSUE

The applicant wishes to demolish the Courthouse Mechanical Buildings, known as the 'Chicken Coop', located at Parcel P, Government Reserve.

BACKGROUND SUMMARY

The applicant has applied to demolish the Chicken Coop in order to build a new mechanical building to support the Old Courthouse restoration project. The application was heard by the Heritage Advisory Committee and recommended for approval at Special HAC Meeting #18-14.

Zoning By-Law

The Zoning By-Law Appendix E Section 5 includes the following provisions with respect to demolitions:

“(1) Demolition will only be permitted when an application for a development permit for redevelopment of the site has been approved and issued.”

The redevelopment of this site is intended to be a replacement of the existing building. The existing building is legally non-conforming. As per s. 302(1) of the *Municipal Act*, “a non-conforming building or other structure existing at the date of the adoption of an official community plan or zoning bylaw or amendments may continue to be used, but the building or other structure may not be enlarged, added to, rebuilt, or structurally altered except to increase its conformity”. Therefore, since the structure is being proposed for demolition and subsequent rebuild, the new structure must increase the conformity; in other words, the new structure must be compliant with the current requirements. Development Permit #18-109 was submitted for this redevelopment. The new development was also heard and approved at Special HAC Meeting #18-14, and the Committee is satisfied that Parks Canada acted with due diligence in proposing alterations that are consistent with the *Standards and Guidelines for the Conservation of Historic Places in Canada*.

It should be noted that the current site plan for DP#18-109 shows a side-yard setback of 6 feet; it will be a condition of approval that this setback be increased to 10 feet to be completely compliant with the setback requirements for the P2 – Institutional Zone.

“(3) Demolition of buildings and structures more than 40 years old will be demolished only in exceptional circumstances as determined in the sole discretion of Council.”

The history of the Chicken Coop remains a bit of a mystery. A timeline could be estimated that the building was moved behind the Courthouse as early as 1935 and as late as 1955. If this building was in fact a part of the stables behind St Marys Hospital, it was most likely moved between 1950 and 1952.

The following is an excerpt from the Demolition Rationale provided by Parks Canada:

“Best efforts have been made to find another use for the building. The Field Unit does not have sufficient funds to maintain the Conservation Lab unless it is converted to a new use - the mechanical building. However, the new use requires so many changes, it would essentially be a new building. The Conservation Lab is of insufficient quality and condition to appeal to others in the community for their use. Any funds used on the Conservation Lab rehabilitation would be taken from the total budget for the Courthouse rehabilitation. As such, the more funding allocated towards the Conservation Lab, the lower the total amount available for the Courthouse... ”Parks Canada will regularly review its holdings of cultural resources and may acquire cultural resources that help realize the mandate and achieve the Strategic Outcome and Vision, or dispose of those that do not meet program needs.” The building does not meet any program needs and it was reviewed by the Federal Heritage Building Review Office (FHBRO) in 1987 and determined not to be a Federal Heritage Building...

The heritage value of the Courthouse must be given priority in decision making. An outbuilding is needed for the mechanical room in order to preserve the Courthouse as a whole. If a new building is constructed elsewhere and not on the footprint of the Conservation Lab, an additional building will be added to the landscape and may negatively impact its overall character. The negative impacts to the Conservation Lab are in juxtaposition to the positive impacts to two protected heritage places, the Former Territorial Courthouse NHSC and Dawson Historical Complex NHSC.”

“(4) An acceptable security of \$1.00 per square foot of the lot under consideration will be required to be posted upon issuance of a Development Permit for a demolition to ensure that the intended re-development proceeds.”


Security shall be posted as a condition of this approval, and must be in place prior to demolition proceeding, should the request be approved. Parks Canada has requested that this fee be waived. Administration does

not recommend waiving this fee; other levels of government have requested waiver in the recent past and this has been declined.

The Heritage Advisory Committee has reviewed this application and has granted its approval. The Committee was satisfied that the redevelopment of the building to recreate the approximate size and massing of the 1950 structure was appropriate. Additionally, the Committee was satisfied that the visibility from Turner was critical and requested to see a landscaping plan to confirm this.

The Committee also expressed that it was critical that original windows and siding that can be salvaged should be reinstalled in the redevelopment, and Parks Canada expressed an intent to do so. This is supported in the Standards, which states that sound and repairable windows should be retained and replaced in-kind if irreparable.

However, in the Former Territorial Courthouse Conservation Guidelines, it is stated that consideration should be given to the preservation and rehabilitation of auxiliary buildings. The decision to demolish this building seems to be in contrast to this recommendation.

| APPROVAL | | |
|----------|--------------------|--|
| NAME: | Cory Bellmore, CAO | SIGNATURE:  |
| DATE: | Jan 17, 2019 | |



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

SEP 10 2010
11V00004863

OFFICE USE ONLY

| | |
|------------------|---------|
| APPLICATION FEE: | 210 - |
| DATE PAID: | SEPT 10 |
| PERMIT #: | 18-108 |

DEVELOPMENT APPLICATION & PERMIT (DEMO)

PLEASE READ THE ATTACHED INSTRUCTIONS, GUIDELINES AND SUBMISSION REQUIREMENTS PRIOR TO COMPLETING FORM.

PROPOSED DEVELOPMENT

CIVIC ADDRESS: 302 FRONT ST. VALUE OF DEVELOPMENT: _____

LEGAL DESCRIPTION: LOT(S) Parcel 16 GwP BLOCK _____ ESTATE _____ PLAN# _____

EXISTING USE OF LAND / BUILDINGS: _____

AGE OF STRUCTURE: Please provide the age of the structure you wish to demolish and attach supporting evidence.

pre 1950

RATIONALE: Please provide justification for the demolition.

end of serviceable life

PROPOSED RE-DEVELOPMENT: Please provide the Permit # of the approved development permit that was issued for this lot, and a brief description of your plans.

& construction of new mechanical buildings (18-109)

APPLICANT INFORMATION

APPLICANT NAME(S): Steve Jones

COMPANY NAME: CHF CONSTRUCTION

MAILING ADDRESS: 78 Esplanade St. NANAIMO BC POSTAL CODE: V9A 4Y8

EMAIL: sjones@industrialhazmat.com FAX #: _____

PHONE #: 250-668-7298 ALTERNATE PHONE #: 250-714-5145

OWNER INFORMATION

OWNER NAME(S): PARKS CANADA.

MAILING ADDRESS: Box 390 Dawson City YT. POSTAL CODE: Y0B 1G0

EMAIL: _____ FAX #: _____

PHONE #: _____ ALTERNATE PHONE #: _____

It is the responsibility of the applicant to ensure that all plans conform to the provisions of the City of Dawson Zoning Bylaw and applicable territorial and federal legislation.

DECLARATION


- I/WE hereby make application for a Development Permit under the provisions of the City of Dawson Zoning Bylaw No. 12-27 and in accordance with the plans and supporting information submitted and attached which form part of this application.
- I/ WE have reviewed all of the information supplied to the City of Dawson with respect to an application for a Development Permit and it is true and accurate to the best of my/our knowledge and belief.
- I/WE understand that the City of Dawson will rely on this information in its evaluation of my/our application for a Development Permit and that any decision made by the City of Dawson on inaccurate information may be rescinded at any time.
- I/WE hereby give my/our consent to allow Council or a person appointed by its right to enter the above land and/or building(s) with respect to this application only.

I/WE HAVE CAREFULLY READ THIS DECLARATION BEFORE SIGNING IT.

Sept 10/18
DATE SIGNED


SIGNATURE OF APPLICANT(S)

09/11/2018
DATE SIGNED


SIGNATURE OF OWNER(S)

INSTRUCTIONS AND GUIDELINES

IT IS IMPORTANT TO READ AND UNDERSTAND THE FOLLOWING INSTRUCTIONS PRIOR TO COMPLETING THE APPLICATION FORM.

1. Demolition will only be permitted when an application for a development permit for redevelopment of the site has been approved and issued.
2. Demolition of protected buildings and structures less than 40 years old will only be permitted if the proposed replacement would improve the quality of the built environment.
3. Demolition of buildings and structures more than 40 years old will be demolished only in exceptional circumstances as determined in the sole discretion of Council.
4. An acceptable security \$1.00 per square foot of the lot under consideration will be required to be posted upon issuance of a Development Permit for a demolition to ensure that the intended re-development proceeds.



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

PERMIT #:

18-108

TO BE COMPLETED BY DEVELOPMENT OFFICER

OFFICE USE ONLY

LEGAL DESCRIPTION: LOT(S) Parcel PCnt Reserve BLOCK _____ ESTATE _____ PLAN# _____

ZONING: P2 DATE APPLICATION RECEIVED: August 10th

TYPE OF APPLICATION: Demolition PERMITTED USE: Other community uses

APPLICANT NAME(S): Steve Jones

OWNER NAME(S): Parks Canada - Travis Weber

☐ APPLICATION REJECTED

COMMENTS / REASONS

DATE: _____ SIGNATURE: _____

☐ APPLICATION APPROVED / PERMIT ISSUED

PERMIT CONDITIONS

DATE: _____ SIGNATURE: _____



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

SEP 10 2018
LVC00004863

| OFFICE USE ONLY | |
|------------------|--------|
| APPLICATION FEE: | 25 - |
| DATE PAID: | SEP 10 |
| PERMIT #: | 18-109 |

DEVELOPMENT APPLICATION & PERMIT

PLEASE READ THE ATTACHED INSTRUCTIONS, GUIDELINES, AND SUBMISSION REQUIREMENTS PRIOR TO COMPLETING FORM.

PROPOSED DEVELOPMENT

CIVIC ADDRESS: 302 Front St. VALUE OF DEVELOPMENT: _____

LEGAL DESCRIPTION: LOT(S) Parcel Part Roseau BLOCK _____ ESTATE _____ PLAN# _____

EXISTING USE OF LAND / BUILDINGS: _____

PROPOSED DEVELOPMENT: Please provide a brief description of the proposed development.

new mechanical buildings w/ 18-108

APPLICANT INFORMATION

APPLICANT NAME(S): Travis Weber

COMPANY NAME: Parks Canada

MAILING ADDRESS: Box 390 Dawson POSTAL CODE: Y0B1G0

EMAIL: travis.weber@pc.gc.ca FAX #: _____

PHONE #: 867 993-7224 ALTERNATE PHONE #: _____

OWNER INFORMATION

OWNER NAME(S): Parks Canada. Travis Weber

MAILING ADDRESS: Box 390 Dawson City. POSTAL CODE: Y0B1G0

EMAIL: Travis.Weber@PC.gc.ca dtombuzzell@pc.gc.ca FAX #: _____

PHONE #: 867 993-7224 ALTERNATE PHONE #: 867 634 5269

It is the responsibility of the applicant to ensure that all plans conform to the provisions of the City of Dawson Zoning Bylaw and applicable territorial and federal legislation.

DECLARATION

- I/WE hereby make application for a Development Permit under the provisions of the City of Dawson Zoning Bylaw No. 12-27 and in accordance with the plans and supporting information submitted and attached which form part of this application.
- I/WE have reviewed all of the information supplied to the City of Dawson with respect to an application for a Development Permit and it is true and accurate to the best of my/our knowledge and belief.
- I/WE understand that the City of Dawson will rely on this information in its evaluation of my/our application for a Development Permit and that any decision made by the City of Dawson on inaccurate information may be rescinded at any time.
- I/WE hereby give my/our consent to allow Council or a person appointed by its right to enter the above land and/or building(s) with respect to this application only.

I/WE HAVE CAREFULLY READ THIS DECLARATION BEFORE SIGNING IT.

DATE SIGNED

SIGNATURE OF APPLICANT(S)

DATE SIGNED

SIGNATURE OF OWNER(S)



THE CITY OF DAWSON

Box 308 Dawson City, Y1T 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca

PERMIT #:

TO BE COMPLETED BY DEVELOPMENT OFFICER

OFFICE USE ONLY

LEGAL DESCRIPTION: LOT(S) _____ BLOCK _____ ESTATE _____ PLAN# _____

ZONING: _____ DATE APPLICATION RECEIVED: _____

TYPE OF APPLICATION: _____ PERMITTED USE: _____

APPLICANT NAME(S): _____

OWNER NAME(S): _____

☐ APPLICATION REJECTED

COMMENTS / REASONS

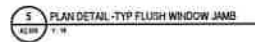
DATE: _____ SIGNATURE: _____

☐ APPLICATION APPROVED / PERMIT ISSUED

PERMIT CONDITIONS

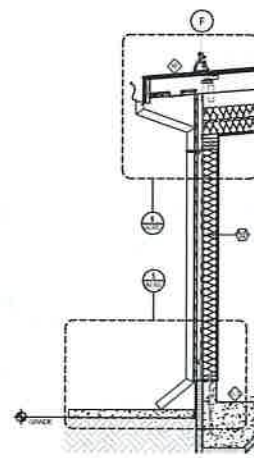
DATE: _____ SIGNATURE: _____



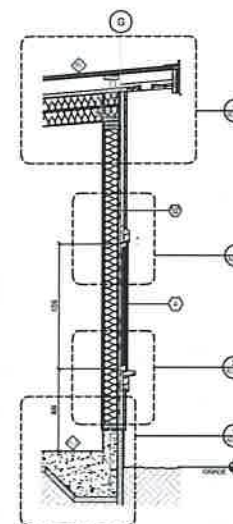


A compass rose with a circle divided into four quadrants by a vertical and a horizontal line. The letter 'N' is at the top, indicating North. A shaded area is located in the Northwest quadrant, between the North and West lines.

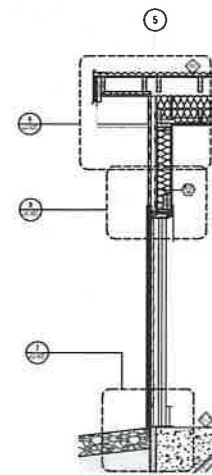
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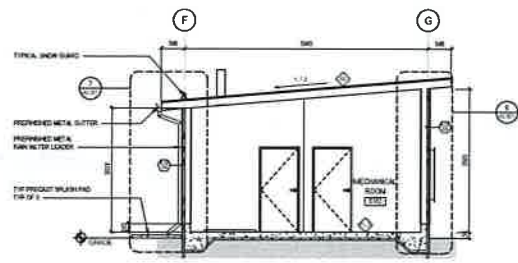
7 WALL SECTION AT ROOF LOW POINT
ALN 1:20



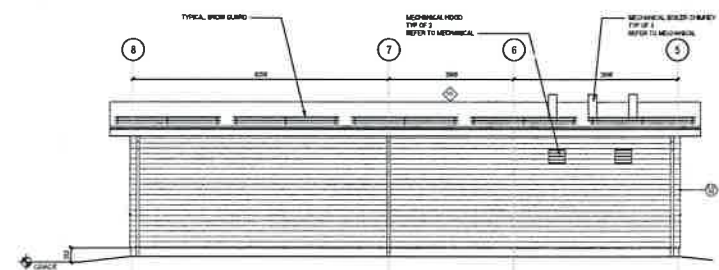
6 WALL SECTION AT ROOF HIGH POINT
ALN 1:20



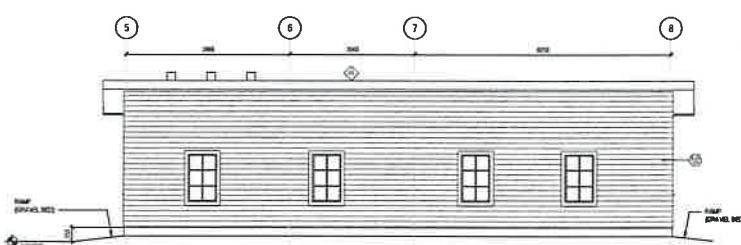
5 WALL SECTION AT THE SIDE ROOF
ALN 1:20



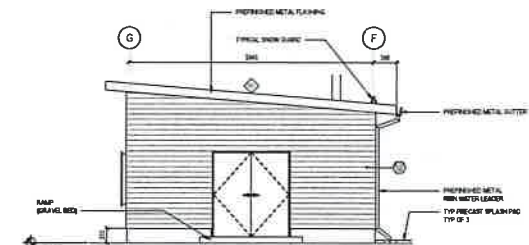
4 BUILDING SECTION - SERVICE BUILDING
ALN 1:10



3 NORTH ELEVATION - SERVICE BUILDING
ALN 1:20



2 SOUTH ELEVATION - SERVICE BUILDING
ALN 1:10



1 WEST ELEVATION - SERVICE BUILDING
ALN 1:20

2018-07-30
HERITAGE REVIEW

NOT FOR CONSTRUCTION

PARKS CANADA

Project 1/10/1000 No. 1000

301 FRONT STREET
DAWSON, YT Y0B 1G0

FORMER TERRITORIAL
COURTHOUSE

Consultant: RATIO Inc.

Engineer: M. L. L. L. L.

Author: M. L. L. L. L.

Public Region Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

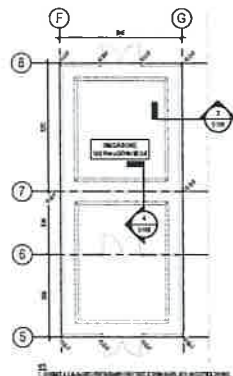
Project Manager: M. L. L. L. L.

Project Manager: M. L. L. L. L.

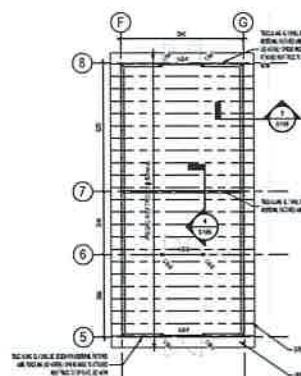
Project Manager: M. L. L. L. L.



DMS/DOUGLAS



1 SERVICE BUILDING-FOUNDATION PLAN
1:100



2 SERVICE BUILDING-ROOF PLAN
1:100

| ROOF DIAPHRAGM SCHEDULE | | | |
|-------------------------|-----------|---------|-----------|
| SPACING | THICKNESS | SPACING | THICKNESS |
| 1.000 | 1.000 | 1.000 | 1.000 |

1. SEE 1.000 FOR DETAILS OF ROOF DIAPHRAGM SCHEDULE.
2. SEE 1.000 FOR DETAILS OF ROOF DIAPHRAGM SCHEDULE.

| SHEAR WALL/LOAD BEARING WALL SCHEDULE | | | |
|---------------------------------------|-----------|---------|-----------|
| SPACING | THICKNESS | SPACING | THICKNESS |
| 1.000 | 1.000 | 1.000 | 1.000 |

1. SEE 1.000 FOR DETAILS OF SHEAR WALL/LOAD BEARING WALL SCHEDULE.
2. SEE 1.000 FOR DETAILS OF SHEAR WALL/LOAD BEARING WALL SCHEDULE.

| COLUMN SCHEDULE | | | |
|-----------------|-----------|---------|-----------|
| SPACING | THICKNESS | SPACING | THICKNESS |
| 1.000 | 1.000 | 1.000 | 1.000 |

1. SEE 1.000 FOR DETAILS OF COLUMN SCHEDULE.
2. SEE 1.000 FOR DETAILS OF COLUMN SCHEDULE.

| HOLDOWN SCHEDULE | | | |
|------------------|-----------|---------|-----------|
| SPACING | THICKNESS | SPACING | THICKNESS |
| 1.000 | 1.000 | 1.000 | 1.000 |

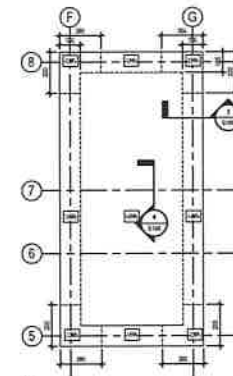
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2. SEE 1.000 FOR DETAILS OF HOLDOWN SCHEDULE.

| ANCHOR ROD SCHEDULE | | | |
|---------------------|-----------|---------|-----------|
| SPACING | THICKNESS | SPACING | THICKNESS |
| 1.000 | 1.000 | 1.000 | 1.000 |

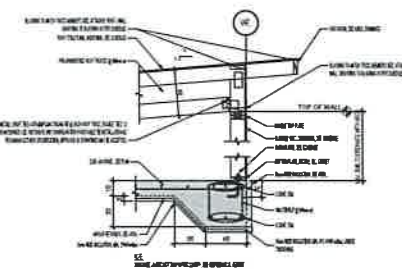
1. SEE 1.000 FOR DETAILS OF ANCHOR ROD SCHEDULE.
2. SEE 1.000 FOR DETAILS OF ANCHOR ROD SCHEDULE.

| HEADER SCHEDULE | | | |
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| SPACING | THICKNESS | SPACING | THICKNESS |
| 1.000 | 1.000 | 1.000 | 1.000 |

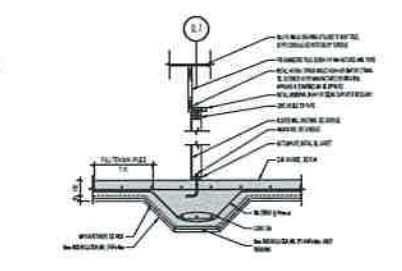
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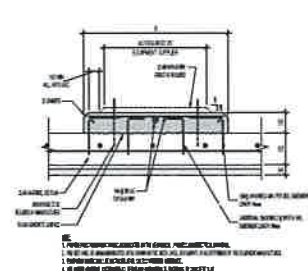
3 ROOF FACTORED NET-UPlift DIAGRAM
1:100



3 PERIMETER THICKENING DETAIL
1:10



4 INTERIOR SHEAR WALL STRIP FOOTING DETAIL
1:10



5 TYP. HOUSEKEEPING PAD
1:10

NOT FOR CONSTRUCTION

PARKS CANADA

301 FRONT STREET
DAWSON, YT Y0B 100

FORMER TERRITORIAL
COURTHOUSE

SERVICE BUILDING




Appendix A:

Demonstration of Best Efforts Prior to Disposal of Cultural Resource

Conservation Lab, Yukon Field Unit

Prepared by Lisa Forbes, Cultural Resource Management Policy Advisor
Cultural Heritage Policies Branch
Indigenous Affairs and Cultural Heritage Directorate
April 3, 2018

| | | |
|--------------------------|--|---|
| Cultural Resource | Conservation Lab (AKA Chicken Coop, Mechanical Shed) |  |
| Place | Dawson City, Yukon | |
| Protected Area | Former Territorial Courthouse NHSC and Dawson Historical Complex NHSC | |
| Address | 301 Front Street (behind the Former Territorial Courthouse, facing onto Turner Street) | |
| Asset | 26348 | |
| AMS | 01202 | |
| DFRP | 20032 | |
| FHBRO File | 87-70 | |
| FHBRO Designation | Not designated (Score: 28) | |
| Year Built | Unknown origin. Most likely moved to site in the 1950s. | |
| | | (Parks Canada, September 2017) |

Executive Summary:

In order to support the rehabilitation of the Former Territorial Courthouse NHSC within Dawson Historical Complex NHSC, the Yukon Field Unit and the Indigenous Affairs and Cultural Heritage Directorate have concluded that the Conservation Lab, a cultural resource of other heritage value, should be disposed of and replaced with a new mechanical building that will be designed to fit within the cultural landscape. This conclusion was reached in accordance with the Parks Canada Cultural Resource Management Policy (2013) after best efforts were made to rehabilitate the Conservation Lab. This paper documents the best efforts made prior to the disposal.



Parks
Canada

Parcs
Canada

Canada

Heritage Value:

The Former Territorial Courthouse in Dawson City is both a Classified Federal Heritage Building and a National Historic Site of Canada (NHSC). Within its Commemorative Integrity Statement (CIS), it is noted: "The post-1910 elements of the building and landscape are considered cultural resources with historic value." These resources include "Outbuildings dating to the period 1901-1967, specifically, the rear carriage shed." (Former Territorial Courthouse CIS, 2010: p. 16) As one of these outbuildings, the Conservation Lab is therefore a cultural resource of other heritage value.

While the origins of the building are unclear, its heritage value lies in its relationship to the Former Territorial Courthouse and its place within the cultural landscape surrounding that building.

Issue

The Former Territorial Courthouse NHSC (henceforth referred to as the Courthouse) is being rehabilitated to serve as an office building with some public spaces. To support this rehabilitation, a mechanical room is needed.

Options Considered

1. **Create a mechanical room within the Courthouse.** This is undesirable as it would impact the heritage character of a significant cultural resource. The Courthouse is (1) an NHSC in its own right; (2) a cultural resource of national historic significance within the Dawson Historical Complex NHSC; and (3) a Classified Federal Heritage Building.
2. **Add a new utility building behind the Courthouse.** This would negatively impact the cultural landscape surrounding the Courthouse by disturbing the spatial organization of the Government Reserve Lot and by adding a contemporary building into the mix of buildings behind the Courthouse.
3. **Rehabilitate the Conservation Lab to serve as the mechanical room.** This was the desired course of action because the Conservation Lab is currently vacant and falling into disrepair.
4. **Dispose of Conservation Lab and build a new mechanical building in its place.** This option was considered only after it became clear that rehabilitation (option 3) was not a viable option due to the number of changes needed to suit its new use and the very poor condition of the building.

Rationale for Disposal

The Parks Canada Cultural Resource Management Policy (henceforth referred to as the CRM Policy) was followed in order to determine the best course of action. There are two heritage buildings and a cultural landscape involved in this assessment. Section 7.2.1 of the CRM Policy establishes how to set priorities when managing cultural resources.

7.2.1 (a) In a national historic site, primary consideration must be given to cultural resources of national historic significance that are essential to ensuring its commemorative integrity. These cultural resources are a priority for the Agency.

The priority in this case is the Courthouse itself, which is the cultural resource of national historic significance.

Additional priorities are covered in section 7.2.1 (b) of the CRM Policy, but these also confirm that the Conservation Lab is not a priority. The heritage value of the Conservation Lab is low: It is not named specifically in the CIS, simply part of grouping of pre-1967 outbuildings. Parks Canada has made changes

to the building over the years, including a small addition that encroaches onto land that PCA does not own. The physical condition of the Conservation Lab is also very poor. Unless it is converted to a new use, such as the proposed mechanical building, it will continue to deteriorate. The building does not convey national significance — it is part of the story of the Courthouse and its evolution, but has no other importance. It does not have VE potential. The importance of the Conservation Lab to the community lies in its place within the landscape. Replacing the building with one that uses the same footprint, has similar mass and uses colours and materials that complement the surrounding buildings will meet Dawson's municipal heritage requirements.

In accordance with section 7.2.1 (c) of the CRM Policy, best efforts have been made to find another use for the building. The Field Unit does not have sufficient funds to maintain the Conservation Lab unless it is converted to a new use — the mechanical building. However, the new use requires so many changes, it would essentially be a new building. The Conservation Lab is of insufficient quality and condition to appeal to others in the community for their use. Any funds used on the Conservation Lab rehabilitation would be taken from the total budget for the Courthouse rehabilitation. As such, the more funding allocated towards the Conservation Lab, the lower the total amount available for the Courthouse.

7.2.1 (g) of the CRM Policy states that "Parks Canada will regularly review its holdings of cultural resources, and may acquire cultural resources that help realize the mandate and achieve the Strategic Outcome and Vision, or dispose of those that do not meet program needs." The building does not meet any program needs and it was reviewed by the Federal Heritage Building Review Office (FHBRO) in 1987 and determined not to be a Federal Heritage Building.

The heritage value of the Conservation Lab lies in the building's contribution to the landscape. In accordance with sections 7.2.1 and 7.2.2 of the CRM Policy, the heritage value of the Courthouse must be given priority in decision making. An outbuilding is needed for the mechanical room in order to preserve the Courthouse as a whole. If a new building is constructed elsewhere and not on the footprint of the Conservation Lab, an additional building will be added to the landscape and may negatively impact its overall character. The negative impacts to the Conservation Lab are in juxtaposition to the positive impacts to two protected heritage places, the Former Territorial Courthouse NHSC and Dawson Historical Complex NHSC.

In conclusion, the three underlying principles of the CRM Policy support the decision to dispose of the Conservation Lab due to the greater gains in protecting the Courthouse.

Understanding Heritage Value: While the origins of the Conservation Lab are unclear, its heritage value lies in its relationship to the Courthouse and its place within the cultural landscape surrounding that building.

Sustainable Conservation: The Field Unit does not have funds to maintain the Conservation Lab, a cultural resource of other heritage value. Any funds expended on it would be removed from budget available to rehabilitating the Courthouse, a cultural resource of national historic significance.

Benefit to Canadians: The safeguarding of the Courthouse is of primary importance to Canadians past, present and future.

Conditions for Disposal

To dispose of a cultural resource is not an action to be taken lightly. When recommending the disposal of the Conservation Lab it is only upon the condition that all of the following take place.

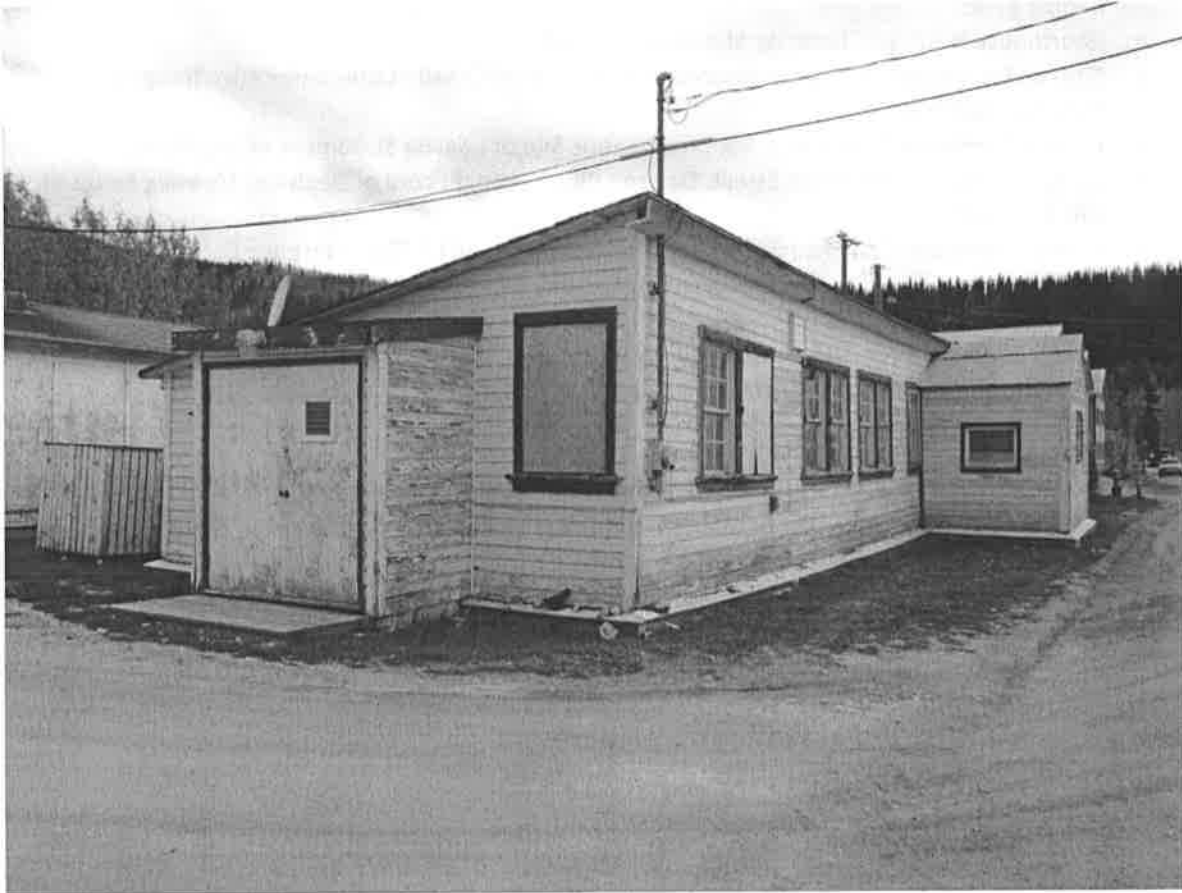
- (1) ***Heritage Recording is conducted prior to demolition.*** This is in order to meet section 7.2.5 of the CRM Policy which requires that all cultural resources be recorded and documented in order to preserve the public record.
- (2) ***New mechanical building conforms to the "Design and Replacement Guidelines for the Conservation Lab" (see Appendix B).*** This is because the new building will affect the cultural landscape of both the Courthouse and the cultural landscape of the Dawson Historical Complex NHSC. The design and replacement guidelines will ensure that the new building conforms to the CRM Policy, the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010, 2nd ed.), and the *Design Guidelines for Historic Dawson* (1980).
- (3) ***CRIA process is undertaken to review archaeological and cultural landscape impacts.*** An archaeological investigation should take place once the building has been dismantled to the foundation level. In addition, the new building design needs to be reviewed to ensure it conforms with the "Design and Replacement Guidelines for the Conservation Lab".

Appendix B:

Former Territorial Courthouse

Classified Federal Heritage Building & National Historic Site

Design and Replacement Guidelines for the Conservation Lab



DATE

March 29, 2018

BUILDING

Conservation Lab

Other names: Chicken Coop or Laundry Building

301 Front Street, Dawson City, Yukon

PREPARED BY

Shelley Bruce, Built Heritage Advisor

Indigenous Affairs and Cultural Heritage Directorate

Parks Canada

DOCUMENTS REVIEWED

Parks Canada

- Early Buildings of Dawson, Federal Heritage Building Review Office, Building Report 1967-16
- National Historic Sites of the Yukon Field Unit Parks Canada (Chilkoot Trail NHS, SS Klondike NHS, SS Keno NHS, Dawson Historic Complex, NHS) Commemorative Integrity Statement (1997)
- Dawson Historical Complex National Historic Site of Canada Statement of Significance
- Court House, 301 Front Street, Dawson Yukon, Federal Heritage Building Review Office, Building Report 87-63
- Courthouse Heritage Character Statement 87-063
- Former Territorial Courthouse National Historic Site of Canada Commemorative Integrity Statement (2010)
- Former Territorial Courthouse National Historic Site of Canada Statement of Significance
- Conservation Lab, 301 Front Street, Dawson City, Yukon. Record of Decision: Meeting Notes of July 26, 2017
- Former Territorial Courthouse Conservation Guidelines 2017-2018. Heritage Conservation Services, Public Services and Procurement Canada, HCS Project Number R.090345.001, December 2017
- *Design Guidelines for Historic Dawson*, 1980
- *Standards and Guidelines for the Conservation of Historic Places in Canada*, 2010

City of Dawson

- Dawson City Heritage Management Plan. Commonwealth, March 2008
- Official Community Plan City of Dawson Bylaw No. 12-23, 2012
- Zoning Bylaw City of Dawson No. 12-27, 2013

Site Photos

- Interior condition photos, July 2017 (Tom Buzzell)
- Exterior site visit photos, September 2017 (Shelley Bruce)

INTRODUCTION

While a comprehensive conservation project is in the planning stages for the Former Territorial Courthouse NHS (Courthouse), the Yukon Field Unit is also planning alterations to one of the site's outbuildings. A new mechanical room is required for the Courthouse. Since constructing the mechanical room within the Courthouse is not feasible, the project team considered alternate locations. The Conservation Lab is located immediately behind the Courthouse. The Conservation Lab has sometimes been known as the Chicken Coop or the Laundry Building. It is believed that the building was moved to its current location by the Sisters of St. Ann when the Courthouse was used as a privately-run hospital (1954-1967). The Conservation Lab has been modified over the years with the addition of small entrance porches on two sides, and it appears that an addition was added at the east end at some point in time.

Originally the project team hoped to rehabilitate the Conservation Lab so that it could house the mechanical room. Investigations into the building's condition and the requirements of the mechanical room concluded the current building has several issues:

- A later porch addition on the Turner Street side of the Conservation Lab does not sit on Parks Canada's property. The City of Dawson has plans in the future for road and service improvements along Turner Street. The building's encroachment will become more of an issue when this work gets underway.
- The Conservation Lab's structural condition and integrity has been questioned.
- The ideal space for the required mechanical equipment needs to be slightly taller than the height of the Conservation Lab.

The purpose of this document is to comment on the Conservation Lab's heritage values and the state of its character-defining elements. While the site of the Conservation Lab is considered to be a suitable location for the new mechanical room, it is likely that the building in its current configuration and condition make a conventional rehabilitation impractical. Further, the building is of insufficient quality and condition to appeal to others. If the Conservation Lab is demolished in order to support the conservation of the Courthouse, a new building will be constructed based on the design guidelines proposed in this document.

STATEMENT OF HERITAGE VALUE

Description

The Conservation Lab is a single-storey, wood-framed, shed-roofed building located on Parcel "P" behind the Former Territorial Courthouse NHS. It is south facing and fronts directly onto Turner Street in Dawson City, Yukon.

Heritage Value

The Former Territorial Courthouse in Dawson City is both a Classified Federal Heritage Building and a National Historic Site. Within its Commemorative Integrity Statement (CIS), it is noted: "The post-1910 elements of the building and landscape are considered cultural resources with historic value." These resources include "Outbuildings dating to the period 1901-1967, specifically, the rear carriage shed." (CIS 2010, p. 16) As one of these outbuildings, the Conservation Lab is therefore a cultural resource of other heritage value.

While the origins of the building are unclear, its heritage value lies in its relationship to the Former Territorial Courthouse and its place within the cultural landscape surrounding that building.

Character-Defining Elements

The character-defining elements of the Conservation Lab that should be respected include:

- The location and siting of the building behind the Former Territorial Courthouse NHSC, on parcel "P" of the government reserve
- Simple and utilitarian single-storey, wood-framed, shed-roofed building, approximately 18 m long by 6 m wide
- Rectangular footprint with two entrance additions topped with either a shed roof or gable roof
- Simple utilitarian materials of wood drop siding, cedar shingles or corrugated metal sheets on the roofs, and exposed wood rafter tails
- Pairs of wood single hung windows with a 3 over 2 configuration (in each sash) on the south elevation and several single wood windows of the same configuration or fixed units found throughout
- The foundation's various types of short perimeter skirting details clad in corrugated metal and capped with metal
- Details such as wood trim around windows and wood corner boards

REPLACEMENT GUIDELINES

Proposed Approach

To meet the functional requirements of a new mechanical room, it is proposed that a new building replace the Conservation Lab. The design intent is to provide a building that is compatible with the heritage character of the Courthouse's rear yard. Given the siting and programmatic requirements of the mechanical room, a conventional replica of the Conservation Lab is not possible.

Heritage Recording

A heritage recording of a building, which documents its key features and character-defining elements, preserves important information that might otherwise be lost following its demolition. In the case of the Conservation Lab, the heritage recording will provide valuable information that will be used to inform the design of a replacement building.

Full heritage recording of the Conservation Lab is required as part of the disposal process. At a minimum, this should include the following:

Exterior Photos

- A photo of each elevation plus a photo of each building corner
- A photo taken from an elevated vantage point that documents the building's footprint and roof form (ie: this could be taken from a second floor window in the Courthouse)
- Photos of each door and window that are also identified or cross-referenced on a sketch of the floor plan
- Detailed photos of wood trim and siding profiles preferably taken with a scale or tape measure in the photo for reference
- Photos of roofing materials
- Photos of skirting details

Interior Photos

- Photos that provide an overall view of each room
- Detailed photos of construction details

Measurements (these could be added to photos or sketches)

- Dimensions of building footprint
- Height of building and slope of roof
- Overall dimensions of typical building elements such as windows and doors
- Detailed measurements of construction details, wood trim and siding profiles

Material Samples

- For ease of record keeping, samples of the siding and roofing may need to be retained for the duration of the infill project
- Paint chips should be taken to confirm colour palette

Archaeology

Once the heritage recording is complete and the building has been dismantled, archaeological monitoring will be required. Coordination with archaeology will be essential to determine the timing, scope and requirements.

Design Intent

Over the last several decades, Dawson City has developed a range of heritage and planning tools that are meant to retain the community's unique Gold Rush Era sense of place. These have been identified in

the listed references and some excerpts have been included in the Appendices. Some of the key heritage management objectives for Dawson include (Dawson City Heritage Management Plan, page iv):

- Preserve and strengthen the visual character and design intent of a nationally and internationally significant cultural landscape;
- Conserve and interpret the full history of the cultural landscape – before, during, and after the Gold Rush;
- Retain the dominant character as a Gold Rush-era cultural landscape
- Identify distinct character areas and heritage management areas, with different management principles for the different areas; and
- Balance conservation with the integration of new services and activities.

A new design based on a carefully considered analysis of the Conservation Lab's character-defining elements is proposed. The Conservation Lab is a typical example of small utilitarian infill buildings found throughout Dawson. The heritage character of the Conservation Lab resides in its location, form, materials and method of construction. It is also seen in the building's humble vernacular design that is typical of Dawson's buildings from this era. While the Conservation Lab is of little significance in itself, its placement and relationship with other outbuildings in the rear yard of the Courthouse should be respected by any new intervention. The interior of the new building should be designed to meet the needs of the mechanical room.

Recommended Design Guidelines

The table below provides an inventory of the Conservation Lab's character-defining elements. Recommended design guidelines provide design direction for the replacement building.

| Character-Defining Elements | Recommended Design Guidelines |
|--|--|
| The location and siting of the building behind the Former Territorial Courthouse NHSC, on parcel "P" of the government reserve | <ul style="list-style-type: none"> • The replacement building should be located in the rear yard behind the Courthouse to maintain the existing spatial relationships with the other outbuildings. • A hierarchy of design should be evident in the new building's elevations. For instance, the north elevation should have few to no openings. However, the south elevation of the replacement building (facing Turner Street) should have a street presence that recalls the south elevation of the Conservation Lab. The Conservation Lab's south elevation with its pattern of windows minimises the building's overall mass and provides a sense of rhythm to the streetscape. |
| Simple and utilitarian single-storey, wood-framed, shed-roofed building, approximately 18 m long by 6 m wide | <ul style="list-style-type: none"> • Massing should be a single story with a shed roof in the same configuration as the Conservation Lab. • Construction should be wood frame. • A simple and utilitarian aesthetic must be maintained. |
| Rectangular footprint with two entrance additions topped with either a shed roof or gable roof | <ul style="list-style-type: none"> • Upon confirmation of the property line location and the mechanical room's programmatic requirements, the rectangular footprint of the new building should be as close as possible in size to that of the Conservation Lab. • Once a survey of the site is completed, the final location of the new foundation can be determined. • The height of the shed roof should be determined by the |

| Character-Defining Elements | Recommended Design Guidelines |
|---|--|
| | <p>mechanical room's programmatic requirements.</p> <ul style="list-style-type: none"> • Ventilation grilles and chimneys might be required. These should be modest in scale and utilitarian in character. Where possible these should be on the north elevation facing the rear yard. If ventilation grilles are required on this elevation, their design treatment should be sensitively considered in terms of their placement, scale and materials. • To make the replacement building distinguishable from the Conservation Lab, the entrances or porch additions may not be rebuilt. Their function can be included within the new footprint. • It is expected that a single entrance on the north west elevation will be required. The door for the entrance should have a simple and utilitarian character. |
| Simple utilitarian materials of wood drop siding, cedar shingles or corrugated metal sheets on the roofs, and exposed wood rafter tails | <ul style="list-style-type: none"> • Dimension and profile of wood siding should be replicated. • Paint palette should be based on physical evidence found on the Conservation Lab and should be complementary to that found on other outbuildings in the rear yard. • Roofing details must be replicated. • A single roofing material (either cedar or metal) would be appropriate. • If required, new roof elements such as snow stops/guards and eavestroughs and gutters would be permitted. |
| Pairs of wood single hung windows with a 3 over 2 configuration (in each sash) on the south elevation and several single wood windows of the same configuration or fixed units found throughout | <ul style="list-style-type: none"> • The pattern of window openings and sizes on the south elevation should be interpreted in some fashion in order to recall the historic pattern and rhythm of windows that provide visual interest to this view along Turner Street. • This elevation could be modulated in some fashion with slightly recessed panels that break up the continuity of the wood siding. Like the siding repairs that are visible on the Conservation Lab, these recessed panels could hint at a future or lost window opening. • Retention of character-defining windows may be considered. |
| The foundation's various types of short perimeter skirting details clad in corrugated metal and capped with metal | <ul style="list-style-type: none"> • The Conservation Lab sits relatively close to grade. This relationship to grade should be replicated as much as possible. • The foundation system for the mechanical room has not yet been designed. However, a form of foundation skirting could be considered around the perimeter of the building. A few types of skirting designs exist around the Conservation Lab. These should be inspiration for the new skirting detail. |
| Details such as wood trim around windows and wood corner boards | <ul style="list-style-type: none"> • Dimensions and profiles of wood details must be replicated. • Contemporary elements such as exterior lighting should be kept to a minimum, located only where needed and be aesthetically simple and utilitarian. |

APPENDIX A: BUILDING ANALYSIS

Location



Bing Maps air photo with the Conservation Lab noted within the rear yard of the Courthouse. Located in the Government Reserve Character Area, the Conservation Lab is found along Turner Street behind the Courthouse. It is important to note that the Conservation Lab is part of a collection of outbuildings that surround the Courthouse's rear yard. The location of each building relative to one another reinforces the site's spatial original organisation by creating a private courtyard-like space, define the circulation routes through the rear yard, and screen views into the rear yard from the public streets.

Context



Google street view from 2009 of the intersection of Front and Turner Streets. This is a prominent view down Turner Street from which it is possible to see the alignment of the Conservation Lab along the property line and the encroaching south porch addition.



Google street view from 2009 of Turner Street from the south east. From this view the spatial organisation of the collection of outbuildings in the rear yard is clearly visible. Their complementary architectural style (scale, form, materials, colours, etc) create a cohesive character to the rear yard.

South East Exterior View



From the south east on Turner Street, the Conservation Lab is located at the property line with the south porch sitting over the property line.

A change in grade within the site is visible – the porch addition is accessed by a set of stairs (compare this to the grade seen in the north west view).

From this view it is possible to see the Conservation Lab's prominent shed roof, a former entrance and various alterations that have occurred over time. This includes a decommissioned door and window as well as some repairs to the wood siding on the east elevation. Three different skirting details around the foundation are also visible. The profile and dimensions of the wood siding are different on the south porch addition than they are on the rest of the building, but corner boards are still used.

Like the view from the south west, this is an important public view.

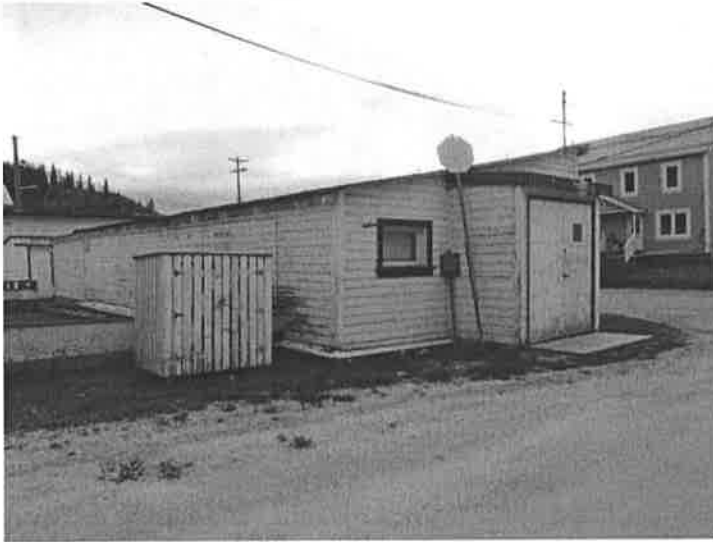
North East Exterior View



From the parking lot at the north east corner, it is possible to see the Conservation Lab's east addition as seen in the change in wood siding, roofing materials, and skirting detail. It is believed this addition was added in the 1970s when the building was used as Parks Canada office space.

This elevation is extremely utilitarian with no openings other than for ventilation.

North West Exterior View



When seen from the north west, the Conservation Lab sits almost at grade with only a single step up to the west porch addition. This is the only functional entrance.

Two different configurations of windows are seen on the west elevation. One has been decommissioned. A single type of skirting detail exists around the building but a second type is on the west porch addition. The profile and dimensions of the wood siding are different on the west porch addition than they are elsewhere, but corner boards are still used.

South West Exterior View



The south west corner presents a very different view of the Conservation Lab. The change in grade is evident as is the building's positioning at and over the property line.

A range of windows from different eras are seen. Most have been decommissioned in some fashion either by boarding from the exterior or from the interior. Original windows have period appropriate wood trim. The windows are likely single hung and are arranged as singles or in pairs. One window still has a wood storm window installed. It is also possible to see the two windows on the south porch addition which are of a simplified design. Two types of skirting are noted. Differences in siding dimensions and profiles are seen between the original building and the porch additions.

Due to its higher visibility, this view is more notable than the others.

Typical Design and Construction Details



Roof Detail 1

At the point where it appears that an addition was added to the east end of the building, the roofing material changes from asphalt shingles to corrugated metal.



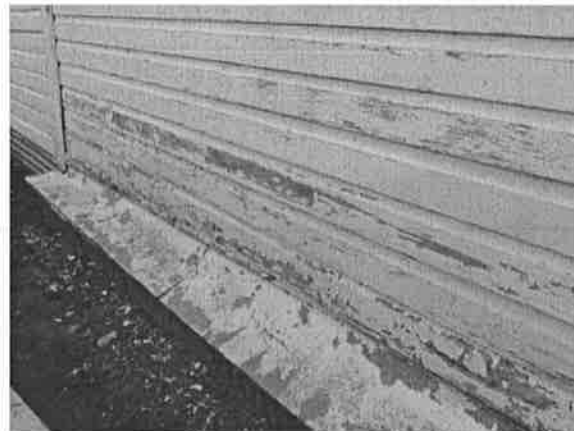
Roof Detail 2

A detail of the exposed rafter tails and the roofing.



Skirting Detail 1

Several types of skirting details and materials are found around the perimeter of the foundation. Also note the corner board detail.



Skirting Detail 2

This is the type of skirting found on the north elevation.



Skirting Detail 3

A detail of a typical skirting detail. Also note the corner board detail.



Skirting Detail 4

Where the west entrance porch connects into the building, there are two types of skirting details.



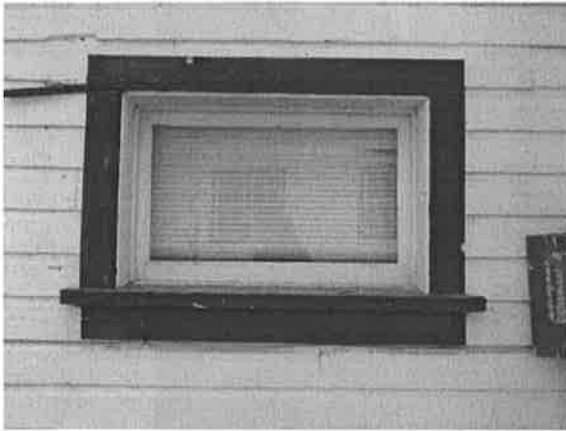
Door Detail 1

The single door on the south porch addition.



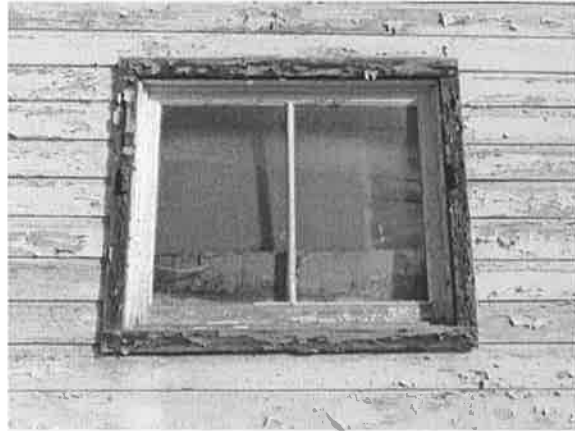
Door Detail 2

The double doors on the west porch addition.



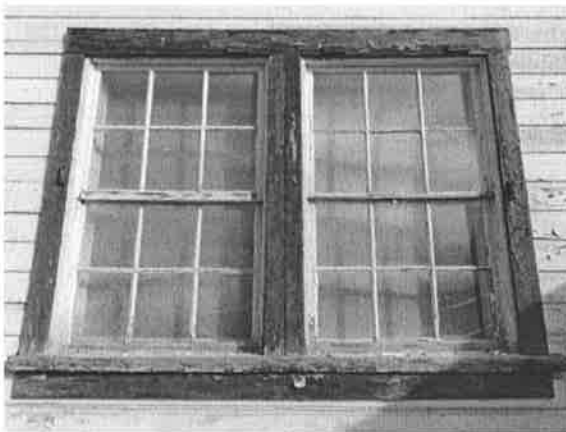
Window Detail 1

There is one single inoperable wood windows such as this one that is original to the buildings.



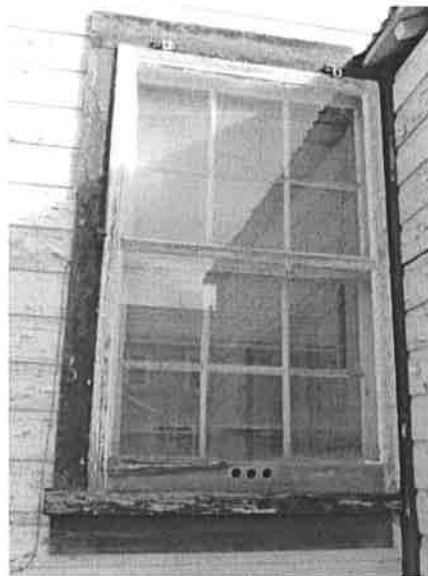
Window Detail 2

On the south porch addition, there are two are single inoperable wood windows with simplified wood trim.



Window Detail 3

This is a typical pair of single hung 3 over 2 wood windows that are original to the building.

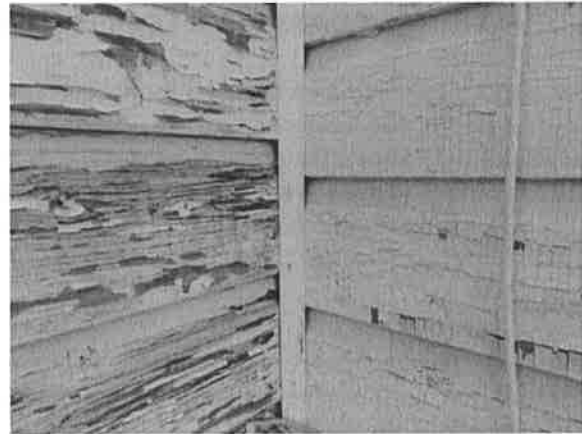


Window Detail 4

A storm window is still in place on this single hung 3 over 2 wood window.

**Siding Detail 1**

As the building has evolved over time, the profile and dimensions of the wood cladding and foundation skirting have changed. In this photo, the difference in construction materials between the original building and its eastern addition are visible.

**Siding Detail 2**

As the building has evolved over time, the profile and dimensions of the wood cladding and foundation skirting have changed. In this photo, the difference in construction materials between the original building and its western porch addition are visible.

APPENDIX B: FORMER TERRITORIAL COURTHOUSE CONSERVATION GUIDELINES

The recently completed Former Territorial Court House Conservation Guidelines addresses not only the Courthouse but also its site and setting. This holistic approach to heritage value and conservation guidelines is extremely beneficial as seen in the excerpts included below. Sections that pertain to the site and outbuildings have been included here for easy reference and the most applicable content has been highlighted in grey. Excerpts from the Key Elements sheets are also included below where needed.

Page 29-30

6.3 Environment

The FHBRO Building report indicates that part of the environmental heritage value of the Courthouse resides in the reinforcement of present character in its setting and its conspicuous or familiar nature as a landmark within the city/region.

Both CISs, for the Former Territorial Courthouse NHSC and for the Dawson Historical Complex NHSC, mention that landscape elements of the Courthouse site contribute to the heritage value.

The CIS for the Former Territorial Courthouse indicates *that by its physical presence and strategic placement in the government reserve, the courthouse is a major landmark building in Dawson and Yukon.*

Furthermore, the document identifies physical values/characteristics of the site dating from the period 1901-1910, that help to define the historic significance of the Former Territorial Courthouse.

Its siting within the government precinct and within the town of Dawson which reinforced federal authority in the period following the Klondike Gold Rush. Along with the former territorial commissioner's residence, the courthouse is located at the front of the reserve, where its monumental presence would have been apparent to all newcomers in the era when access to the town was almost exclusively via the Yukon River.

Its monumentality and the orientation of the long side of the building to the front, which maximized its visual impact, impressing on approaching visitors the power and authority of the government.

Other post-1910 elements of the building and landscape are considered cultural resources with historic value, but not of national historic significance, as they post-date the period of commemoration of the Former Territorial Courthouse. These resources include:

Outbuildings dating to the period 1901-1967, specifically, the rear carriage shed.

Archaeological features and objects found in the grounds located within the Parks Canada administered boundary of the former government precinct, including remnant landscaping features, if evaluated and determined to have historic value and to be associated with subsequent phases of the building's history.

The CIS for the Former Territorial Courthouse notes that the open character of the landscape around the building was intended to help set the building apart as a landmark and is considered an important value. This setting is integral to the appearance of the building as envisioned by the architect, and is a distinguishing feature of the building's historical appearance during the period of commemoration.

Finally, it is indicated that any trees that were part of the original landscaping for the courthouse are considered cultural resources with historic value, if still extant and verified through research.

The CIS of Dawson Historical Complex NHSC provides a list of landscape elements found at the various historic sites within this National Historic Site and which contribute to its heritage value and historic significance:

- *The plot of the 1897-98 survey, with its grid street layout and orientation of buildings;*
- *The historical complex of buildings featuring those identified by the HSMBC, townscape features and landscape vestiges associated with the period of commemoration;*
- *Streetscapes of historical buildings, which as a historical complex contribute to the overall sense of place, e.g. the frontier character of structures, unpaved streets, boardwalks, collection of boomtown facades, permanent government structures, and a mix of vernacular constructional techniques.*

Page 41 – 42

8.1.2 Circulation at the Rear of the Courthouse (Access Road and Parking Lot)

There is little information about the circulation at the rear of the building. Nonetheless, an historic photo shows that the rear of the Courthouse was fenced and had a less formal character than at the front of the building. From the historic plan of the Government Reserve, there was no boardwalk or formal connection from the backyard to the other federal buildings within the reserve.

There is now a parking lot at the rear of the building. If a parking lot is required, having it at this location is desirable as it has less visual impact on the building's Classical Revival style and its status as a visual landmark within Dawson City. The presence of the Carriage House and the Chicken Coop (aka Conservation Lab) help to screen the views towards the cars from adjacent streets. Finally, locally sourced gravel is currently being used as the surface material for the parking lot and the access road on the northeast side of the building. This material helps to integrate the vehicular access road and parking lot within the historic landscape.

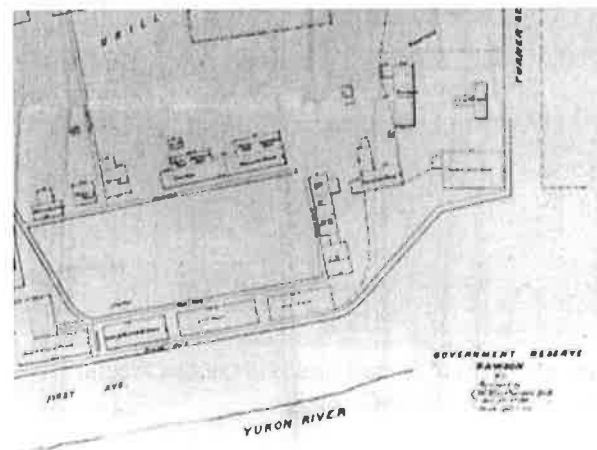
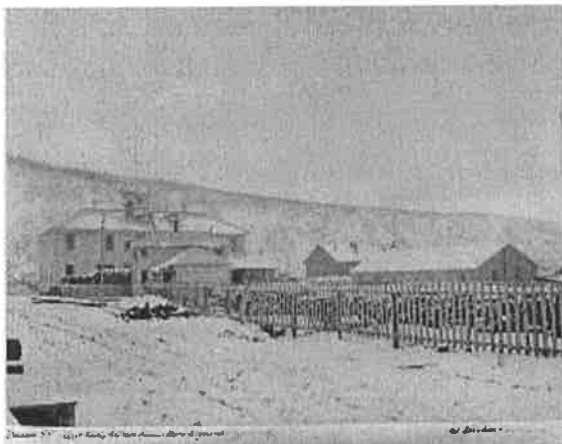


Figure 34: Courthouse viewed from the east. [PSPC, Unknown Date]



Figure 36: View of the parking lot at the rear of the building from the access road. [HCS, 2017]



Figure 37: View of the rear façade of the Courthouse with the parking lot. [HCS, 2017]

Figure 35: Government Reserve, Dawson, 1901. The Territorial Courthouse appears on the lower right side of the drawing. The drawing shows the boardwalks and other pedestrian connections with the neighboring sites. [Department of Indian Affairs and Northern Development, June 1972]

Page 42 – 43**8.1.3 Spatial Organization and Built Features**

Another notable change over the years was the addition of auxiliary buildings in the rear yard of the Courthouse; the former Carriage House (cultural resource of other heritage value added during the Royal Canadian Mounted Police period) and the Chicken Coop (likely added during the Sisters of Charity period). The presence of these buildings contributes - through their colours, scale and design vocabulary - to the heritage character of the Courthouse building's exterior and site. Moreover, their positioning along the original property lines reinforces the original site's organization and helps to create an inner courtyard where new contemporary site elements such as parking spaces can be located. These auxiliary buildings are, however, in poor condition and consideration should be given to the preservation and rehabilitation of these structures.

The presence of the shed that was added in the 1970s near the Chicken Coop creates a visual distraction from the other auxiliary structures. Its scale, design vocabulary and location are considered incompatible with the heritage character of the Courthouse building and site. It is not a cultural resource. Consideration should be given to removing this structure.



Figure 38: View of the auxiliary buildings from Turner Street. [HCS, 2017]

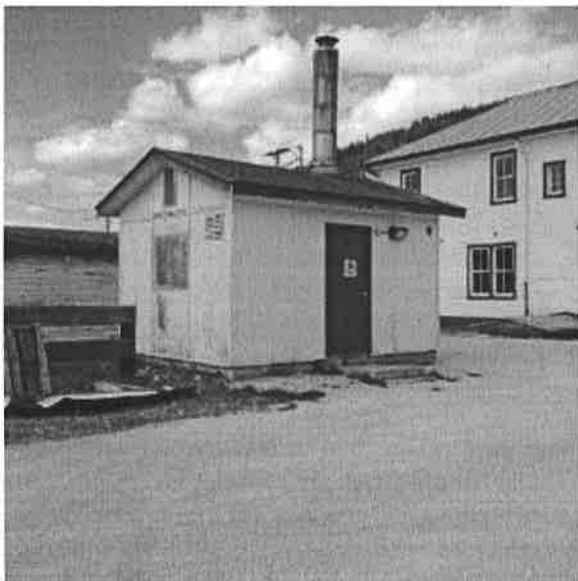


Figure 39: The shed added in the 1970s, is a visual distraction, incompatible with the heritage character of the building. [HCS, 2017]

Page 45-46

8.2 Settling

The setting of the Former Courthouse consists of both built and natural features of the Dawson Historical Complex National Historic Site.

According to the Commemorative Integrity Statement for Dawson Historical Complex¹, the physical elements/characteristic that contribute to the setting's character are:

- The flat of land bounded by the confluence of the Klondike and Yukon Rivers and bordered by the hills, which established the physical boundaries of the town site;
- The plot of the 1897-98 survey, with its grid street layout and orientation of buildings;
- The buildings of the Dawson Historical Complex NHSC:
- The townscape features and landscape vestiges associated with the period of commemoration;
- The streetscapes of historical buildings, which as a historical complex, contribute to the overall sense of place, e.g., the frontier character of structures, unpaved streets, boardwalks, collection of boomtown facades, permanent government structures, and a mix of vernacular constructional techniques.

In addition, physical qualities of the larger landscape which relate to the isolated wilderness contribute to the picturesque character of the natural setting:

- The undeveloped and rugged terrain around Dawson, and represented in the Midnight Dome and surrounding hills, rivers and the Moosehide Slide;
- The views of the regional landscape from the town; and,

¹ Commemorative Integrity Statement for Dawson Historical Complex, September, 3, 1997, p. 5.

- The extreme climatic conditions including permafrost², and their impact on the town's development.

The setting of the Former Courthouse contributes to its heritage values and needs to be respected by all whose decisions or actions affect the site.

The CIS for the Dawson Historical Complex provides recommendations pertinent to the protection of this setting. This includes recommendations to:

- Maintain the streetscapes of historical buildings, representing the era of the Gold Rush or its aftermath;
- Retain the Level 1 buildings on their original sites, maintaining their materials, massing, and inter-relationships;
- Ensure that new construction/landscape modifications in Dawson are compatible with and sensitive to the heritage character of the site, in accordance with Cultural Resource Management principles;
- Encourage sympathetic external renovations and/or new construction within the historic place;
- Encourage sympathetic development of the landscape as viewed from the town to ensure the maintenance of the original visual relationship between town, river and surrounding hills; and,
- Respect and retain the street configuration of the 1897-98 survey.

Pages 64-65

9.9.5 Guidelines for the Conservation of the Landscape

- It is recommended that the original boardwalk which was centrally aligned with the main entrance and which respected the Classical Revival style of the building be reinstated. The design of the new boardwalk should be in keeping with the flowing layout of the original boardwalk as opposed to the perpendicular layout found at other sites with significant buildings. If appropriate, a railing made of wood frame with chicken wire could be installed in some sections of the boardwalk as seen in historic photos during the 1901 – 1910 period.
- The use of the rear yard as a parking lot is desirable as it has less impact on the historic building's formal character and its status as a visual landmark within Dawson City than when it was located in front of the building. The presence of the Carriage House, Chicken Coop and the main building itself should continue to be used to help screen the views onto the cars from adjacent streets.
- Locally sourced gravel should be used as surface material for the parking lot and the access road on the northeast side of the building as it helps to integrate the vehicular access road and parking within the historic landscape.
- Although they are not from the commemoration period, the former Carriage House (a level two resource) and the Chicken Coop should be preserved and rehabilitated as their colours, scale and design vocabulary are compatible with the heritage character of the Courthouse building's exterior and site. Their positioning along the original property lines reinforces the original site's organization. It may be possible to use these buildings for new user requirements.
- The presence of the shed added in the 1970s near the Chicken Coop is a visual distraction from the other auxiliary structures. Consideration should be given to removing this structure.
- The original site's character with a simple, uncluttered grassed ground plane should be protected and reinstated where possible. The two large coniferous trees which date back from

² It is to be noted that the site itself is not on the permafrost.

the commemoration period and which are in good condition have significant heritage value. Every effort should be made to protect these trees as they reinforce the original status of the Courthouse building as a landmark.

- The original visual relationship – where the Courthouse is so prominent when arriving from the south with an unobstructed view onto the monumental classical structure – should be protected when any changes are made to the building and its site. Consideration should be given to rehabilitating the south façade of the Courthouse to ensure that any addition to the original building is compatible with its heritage character and importance as a landmark.
- The built and natural features of the Dawson Historical Complex National Historic Site, including the picturesque natural setting, contribute generally to the building and site's historic character and should be protected.
- In addition to the building's architectural design and character, specific elements of the site that contribute in making the building a visual landmark within the city should be protected.

Page B74-B76

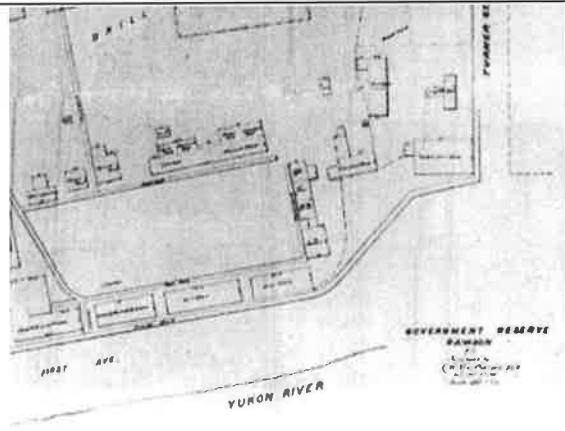
KEY ELEMENTS OF THE LANDSCAPE**Circulation - Rear of the Courthouse**

Photo: Department of Indian Affairs and Northern Development (1901)



Photo: HCS (2017)

LOCATION

Current Location: Rear of the Courthouse

Original Location: Same as current location

CHARACTERISTICS**Description:**

A period photograph shows that the rear yard of the Courthouse was fenced: it had a less formal character than the front of the building. From the historic plan of the Government Reserve, there is no evidence of a boardwalk or formal connection from the backyard to any of the other federal buildings within the reserve.

There is now a parking lot at the rear of the building. If a parking lot is required, having it at this location is desirable: it has less visual impact on the building's Classical Revival style or its status as a visual landmark within Dawson City. The presence of the Carriage House and the Chicken Coop help to screen the views towards the cars from adjacent streets.

Value: Medium Obscured Heritage Value

Period:

Commemoration Period for the Courthouse (1901 to 1910)

Material:

Locally sourced gravel is currently used as the surface material for the parking lot and the access road on the northeast side of the building. This material helps to integrate the vehicular access road and parking lot within the historic landscape.

Page B76-B77

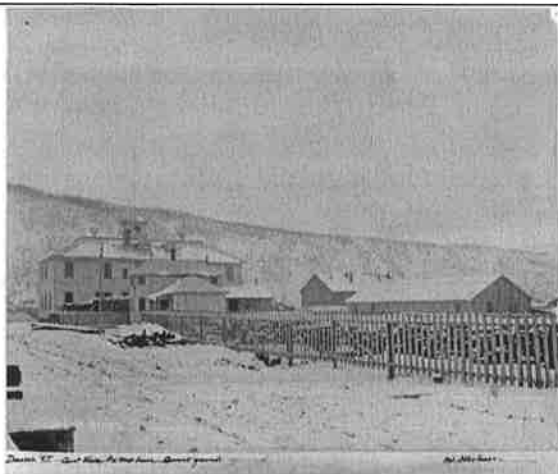
KEY ELEMENTS OF THE LANDSCAPE**Spatial Organization and Built Features**

Photo: PSPC (Unknown Date)



Photo: IICS (2017)

LOCATION**Current Location:** Rear Yard of the Courthouse**Original Location:** Same as current location**CHARACTERISTICS****Description:**

Over the years, the addition of auxiliary buildings in the rear yard of the Courthouse - the former Carriage House (added during the Northwest Mounted Police period) and the Chicken Coop (likely added during the Sisters of Charity period) - has reinforced the organization (layout) of the original site.

Value: Medium Heritage Value

The presence of the former Carriage House and the Chicken Coop contributes - through their colours, scale and design vocabulary - to the heritage character of the Courthouse building's exterior and site. Moreover, their positioning along the original property lines reinforces the original site's organization. It also helps to create an inner courtyard where new contemporary elements such as parking spaces can be located.

Period:

Original site's organization and property lines (1901 – 1910)

Former Carriage House (1914 – 1954)

Chicken Coop (1954 – 1967)

Material:

Wood

APPENDIX C: STANDARDS AND GUIDELINES FOR THE CONSERVATION OF HISTORIC PLACES IN CANADA

The Standards and Guidelines for the Conservation of Historic Places in Canada (Standards and Guidelines) is the first-ever pan-Canadian benchmark for heritage conservation practice in this country. It offers results-oriented guidance for sound decision-making when planning for, intervening on and using historic places. This document establishes a consistent, pan-Canadian set of conservation principles and guidelines that will be useful to anyone with an interest in conserving Canada's historic places.

The Conservation Decision-making Process

Conservation activities can be seen as a sequence of actions - from understanding the historic place, to planning for its conservation and intervening through projects or maintenance.

These three phases can further be defined through a series of steps:

UNDERSTANDING

Refer to Heritage Value and Character-defining Elements
Investigate and Document Condition and Changes

PLANNING

Maintain or Select an Appropriate and Sustainable Use
Identify Project Requirements
Determine the Primary Treatment
Review the Standards
Follow the Guidelines

INTERVENING

Undertake the Project Work
Carry out Regular Maintenance

The Conservation Treatments

Conservation is the umbrella term in Canada. The conservation treatments of preservation, rehabilitation and restoration fall under conservation.

In the case of the Courthouse, the designated place is the building on its footprint. However, the Commemorative Integrity Statement for the Courthouse identifies several resources that are not related to the reasons for designation as a national historic site. This includes the outbuildings dating up to 1967 which includes the Conservation Lab. Since an alteration is proposed for the rear yard which is meant to facilitate a new or continued use of Courthouse, it is appropriate to refer to the Standards for rehabilitation:

Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value. Rehabilitation can include replacing missing historic features. The replacement may be an accurate replica of the missing feature or it may be a new design compatible with the style, era and character of the historic place. (Standards and Guidelines, page 16)

For a rehabilitation project, Standards 11 and 12 are key as are Standards 1, 2, 4 and 9. The Standards are included below for reference.

The Standards

The standards are based on internationally recognized conservation principles. The 14 standards are:

General Standards (for preservation, rehabilitation and restoration)

1. Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character-defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

The Guidelines

For this project, the most applicable Guidelines are those for Built Features (4.1.11) found in the section for Guidelines for Cultural Landscapes, Including Historic Districts. These guidelines provide direction when the built features of a cultural landscape have been identified as character-defining elements of an historic place. Built features can include a range of cultural resources such as archaeological remains and various building types. A building may play a role as a character-defining element in a cultural landscape, in addition to having its own heritage value. For recommendations on specific materials that pertain to built features, refer to the Guidelines for Materials.

Specific Recommendations can be found in the Standards and Guidelines for projects looking to add a new building to a cultural landscape (Standards and Guidelines, page 92)

| | Recommended | Not Recommended |
|--|---|--|
| ADDITIONS OR ALTERATIONS TO A CULTURAL LANDSCAPE | | |
| 15 | Designing a new built feature, when required by a new use, to be compatible with the heritage value of the cultural landscape. For example, erecting a new farm outbuilding, using traditional form and materials, or installing signs and lighting compatible with the cultural landscape. | Locating a new built feature in a manner that undermines the heritage value of the cultural landscape. Introducing a new built feature, such as an interpretive panel, that is visually incompatible with the cultural landscape. |

APPENDIX D: LOCAL GUIDELINES AND PLANS

Dawson City Heritage Management Plan 2008

The Dawson City Heritage Management Plan refers to the Design Guidelines for Historic Dawson (1980) while making a series of recommendations for developing a new framework for managing heritage resources in the Community. It is the precursor to much of what is found in the current community plan and zoning.

This plan proposes a Vision for the Management of Dawson's Heritage Resources:

The built and natural heritage features of the Klondike Valley Cultural Landscape, of which the Dawson Townsite forms an important component, will be managed so as to improve the quality of life for residents of the City and the region and to provide an enhanced destination attraction for international tourism. The heritage management program will tell the stories of the entire human history of the Klondike Valley, with particular emphasis on the Gold Rush era of 1896-1910. (page 3)

Pertinent to the proposal for the Conservation Lab, the plan provides guidance for managing the resources in the Government Reserve Character Area. It concludes that "landscape features, both historic and new, are particularly highly valued and must follow historical design principles" (page iv).

This section is particularly useful:

3. Government Reserve Character Area

Boundaries

The Government Reserve Character Area comprises the land from Front Street to the lane behind Sixth Avenue, and from Church Street south to the Klondike Highway.

Significance

This area coincides generally with the land reserved for government building. It contains most of the important historical public / institutional buildings that expressed the authority of Government of Canada and the religious organizations. It also contains residential properties from the early and mid-20th century.

Character-defining elements

Topography

The land is flat, rising gently from Minto Park to 6th Avenue.

Views

Good views of the mountains on three sides from most vantage points.

Buildings and Structures

Larger-scaled historic buildings, particularly the Museum (the Old Territorial Administration Building), the Courthouse, and the Commissioner's Residence

The principal buildings are situated in park-like settings

The main government buildings are classical in design, in contrast to the general Gold Rush style; the classical architecture expresses the authority of the Government in the years around 1900

Landscape Features

Several large grassed and landscaped areas, producing park-like settings.

Deviations from the gridiron pattern, particularly to the north.

Residential yards are landscaped with mature trees. (page 26)

Extensive design guidelines are provided in the plan. The decision diagram that included below indicates how to selecting the appropriate set(s) of design guidelines for potential development proposals (page 58):

| What is the historical status of the proposed development? | In which Heritage Management Area is the proposed development located? | What type of development is proposed? | Which set(s) of guidelines should be referred to? |
|--|---|---------------------------------------|---|
| Gold Rush Era Building (1896-1910) | Any Heritage Management Area | Intervention to existing structure | <i>Standards and Guidelines for Conservation of Historic Places in Canada AND Design Guidelines for Historic Dawson</i> |
| | | New addition | <i>Design Guidelines for Conservation and Infill -- Additions to Existing Historic Buildings</i> |
| Post-Gold Rush Era Building (1910-present) | Any Heritage Management Area | Intervention to existing structure | <i>Standards and Guidelines for Conservation of Historic Places in Canada AND Design Guidelines for Conservation and Infill -- Guidelines for Interventions to Buildings Erected After the Gold Rush Era</i> |
| | | New addition | <i>Design Guidelines for Conservation and Infill -- Additions to Existing Historic Buildings</i> |
| Proposed New Addition or Construction | Downtown Heritage Management Area (except Downtown Transitional Character Area) | Reconstruction (mandatory) | <i>Standards and Guidelines for Conservation of Historic Places in Canada AND Design Guidelines for Historic Dawson AND Design Guidelines for Architectural Conservation and Infill -- Guidelines for Reconstructions</i> |
| | Downtown Transitional Character Area within Downtown Heritage Management Area | Infill | <i>Design Guidelines for Architectural Conservation and Infill -- Guidelines for the Downtown Transitional Character Area</i> |
| | Residential Heritage Management Area | Reconstruction (optional) | <i>Standards and Guidelines for Conservation of Historic Places in Canada AND Design Guidelines for Historic Dawson</i> |
| | | Infill | <i>Design Guidelines for Architectural Conservation and Infill -- Guidelines for Infill: the Dawson Style</i> |
| | Valley, Confluence and Bowl Heritage Management Area | Any | <i>Design Guidelines for Architectural Conservation and Infill -- Guidelines for Infill: the Dawson Style (OPTIONAL)</i> |

Official Community Plan Bylaw No. 12-23, 2012

3.9 Heritage Preservation (page 20)

Long-term goal:

- Protect and celebrate Dawson's heritage as a "living historical community" while at the same time allowing the community to evolve and prosper into the future.

Zoning Bylaw City of Dawson No. 12-27, 2013

Heritage Management Guidelines (page 57)

(1) Treatment of existing buildings:

Post-Gold Rush buildings will not be altered to look like Gold Rush buildings. Their integrity will be maintained and respected to illustrate and interpret the full history of Dawson. An appropriate balance between property maintenance and relic character will be maintained. Historic buildings may be moved if there is a compelling reason to do so and if moving would conform to all zoning regulations.

(2) Treatment of new construction:

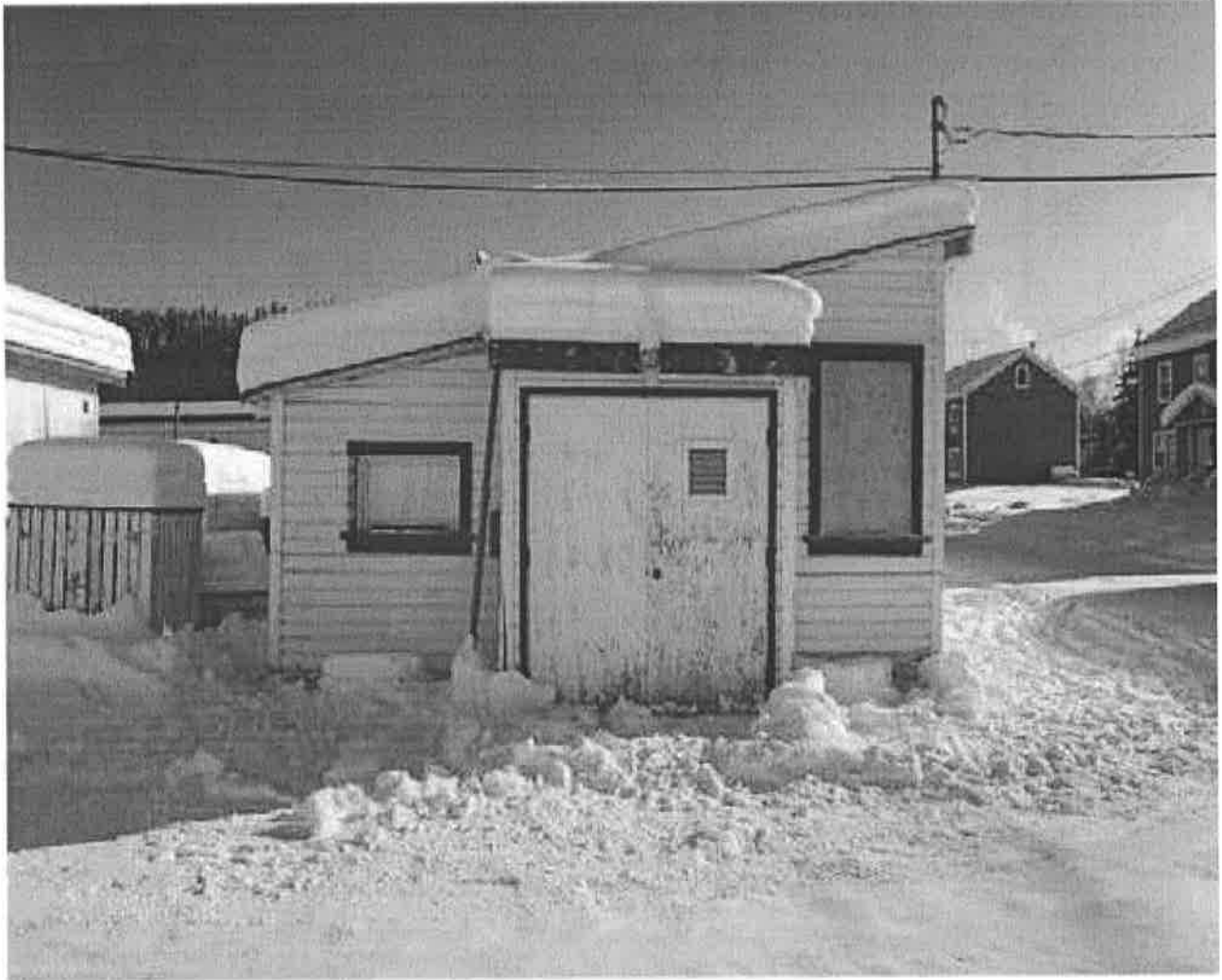
e) New landscape features will follow the design guidelines and are subject to review in the development permit process...

...Government Reserve Character Area.

Landscape features, historic and new, are particularly highly valued and will follow heritage design guidelines.

Design Guidelines:

- a) Reconstruction (mandatory) will follow latest versions of 'Standards and Guidelines for Conservation of Historic Places in Canada' AND 'Design Guidelines for Historic Dawson' AND 'Design Guidelines for Conservation and Infill - Guidelines for Reconstructions'.
- b) Downtown Transitional Area exceptions for infill will follow latest version of 'Design Guidelines for Architectural Conservation and Infill - Guidelines for the Downtown Transitional Area'.



Heritage Recording
Conservation Lab
Klondike National Historic Site
March 29, 2018

Table of Contents

Elevation

Reference Map
Exterior Photos
Measurements

Interior

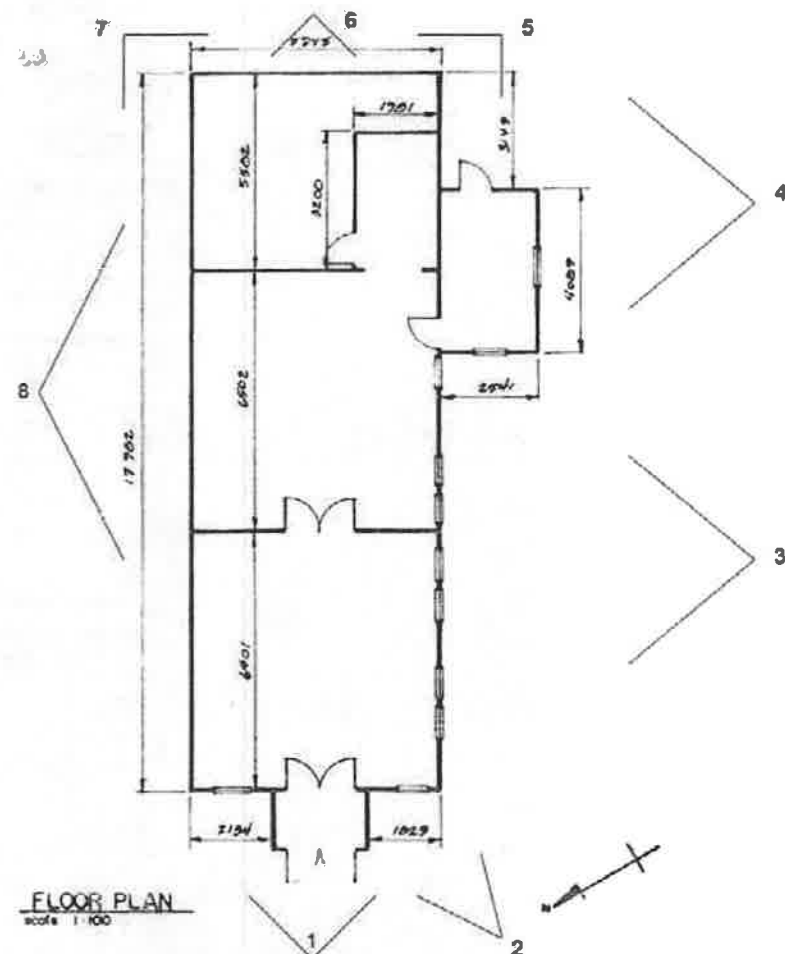
Reference Map
Photos
Measurements

Windows

Reference Map
Photos
Measurements

Detailing

Reference Map
Photos



5 Floor plan, Conservation Lab. (R.N.H.S., 1987.)



From Above.JPG



1.JPG



8.JPG



2.JPG



3.JPG

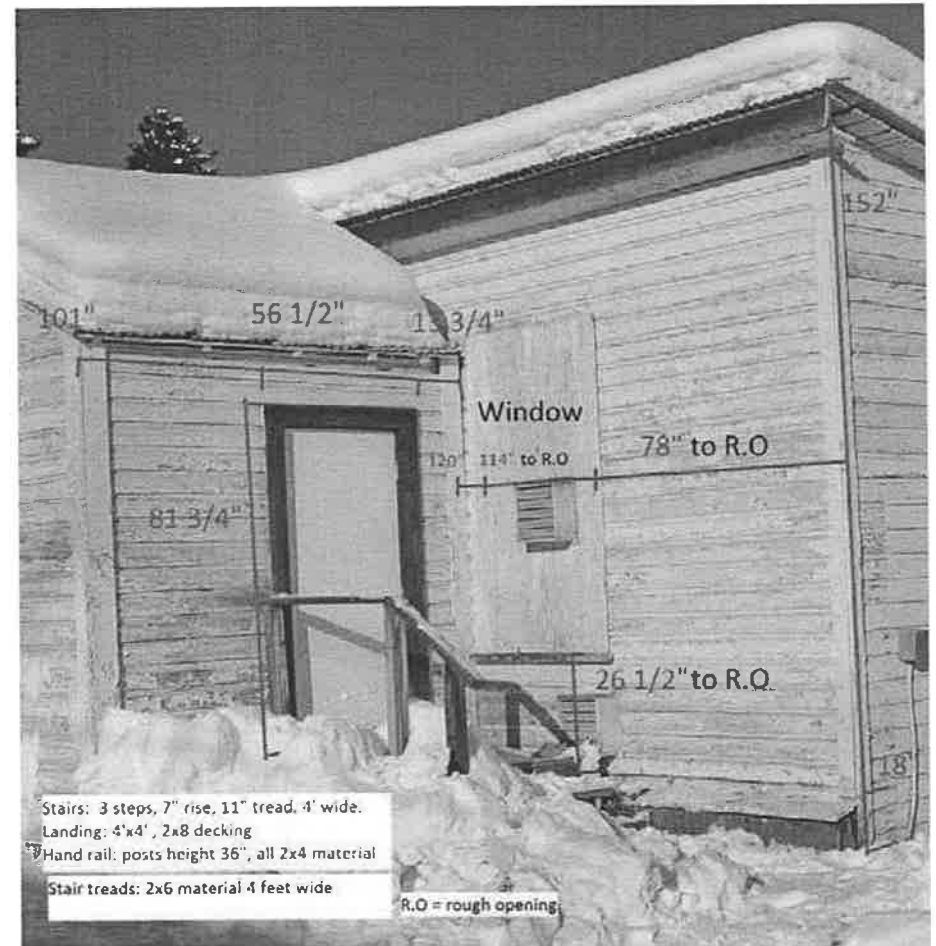
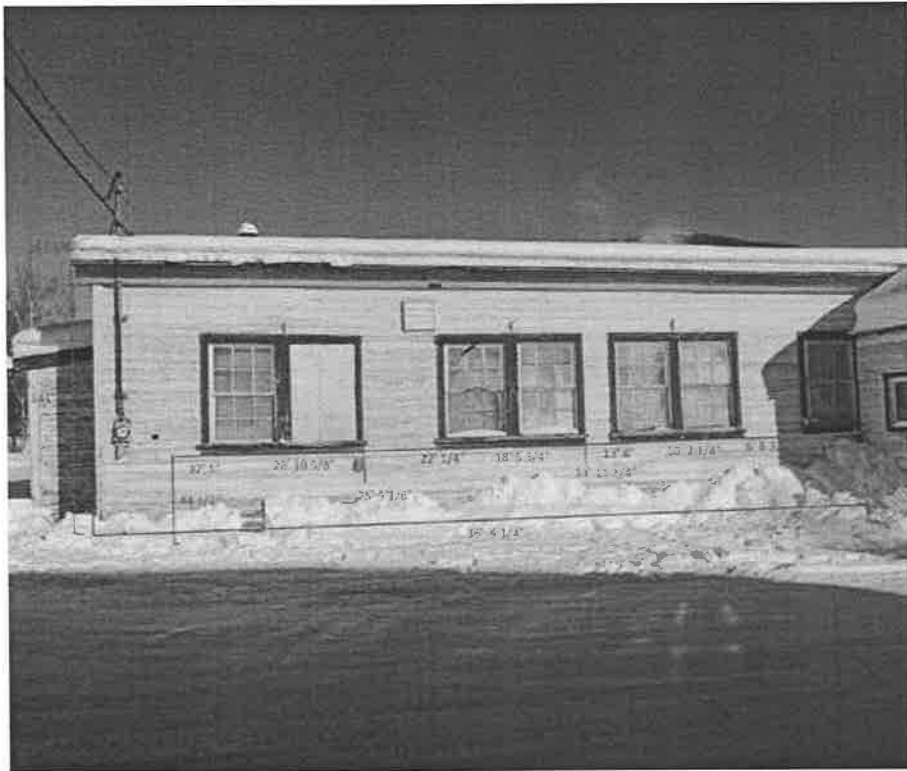


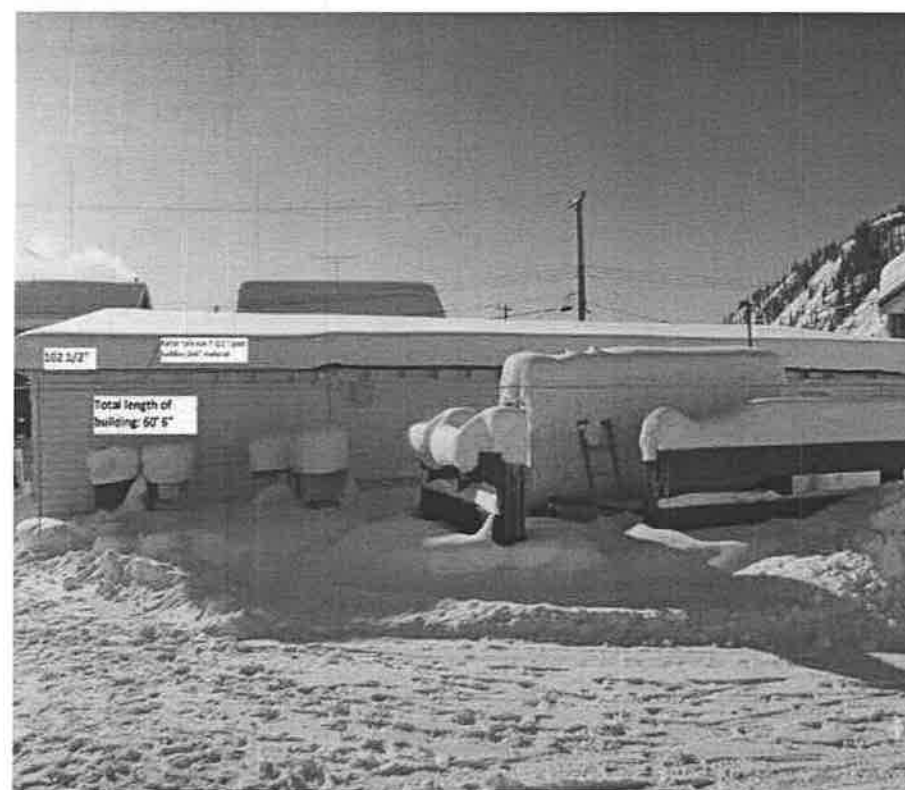
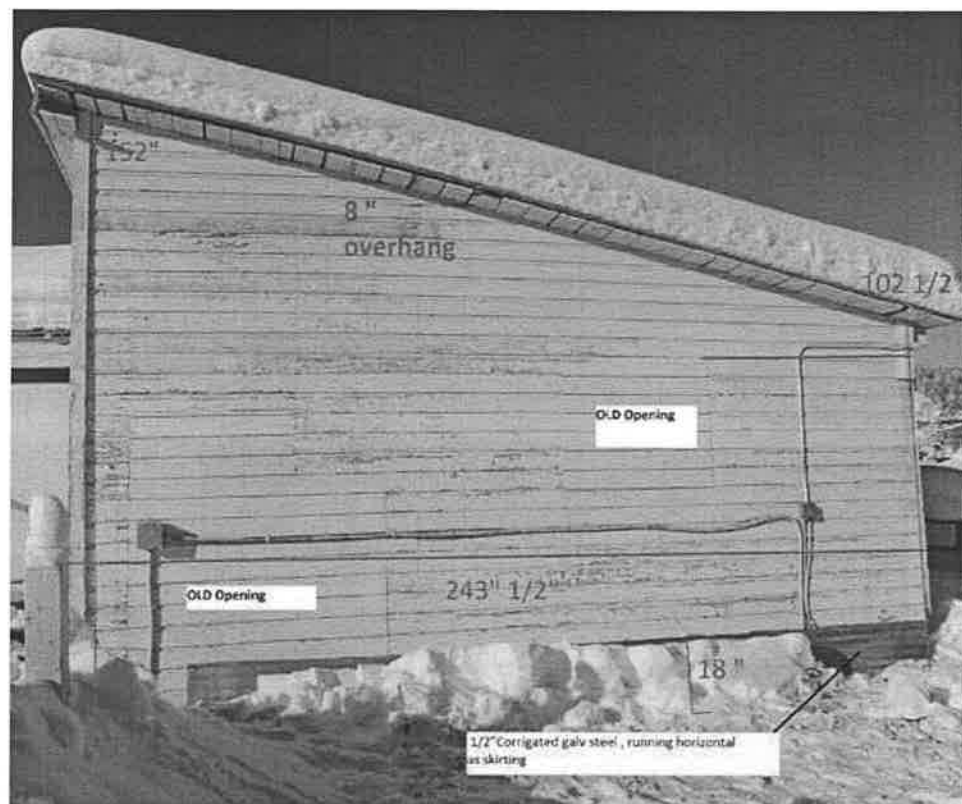
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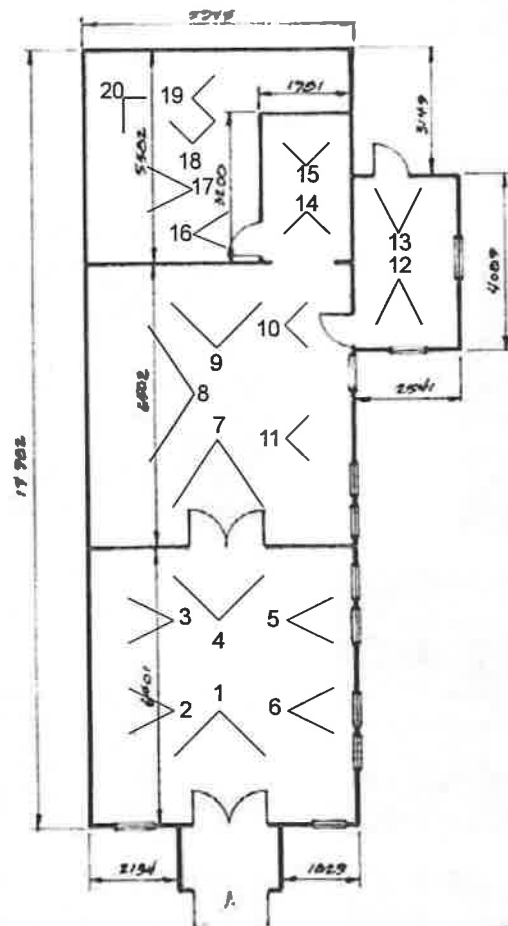


5.JPG









FLOOR PLAN
scale 1:100

5 Floor plan, Conservation Lab. (K.N.H.S., 1987.)



1.JPG



2.JPG



3.JPG



4.JPG



5.JPG



6.JPG





9.JPG



10.JPG



11.JPG



12.JPG



13.JPG



14.JPG



15.JPG



16.JPG



17.JPG



19.JPG



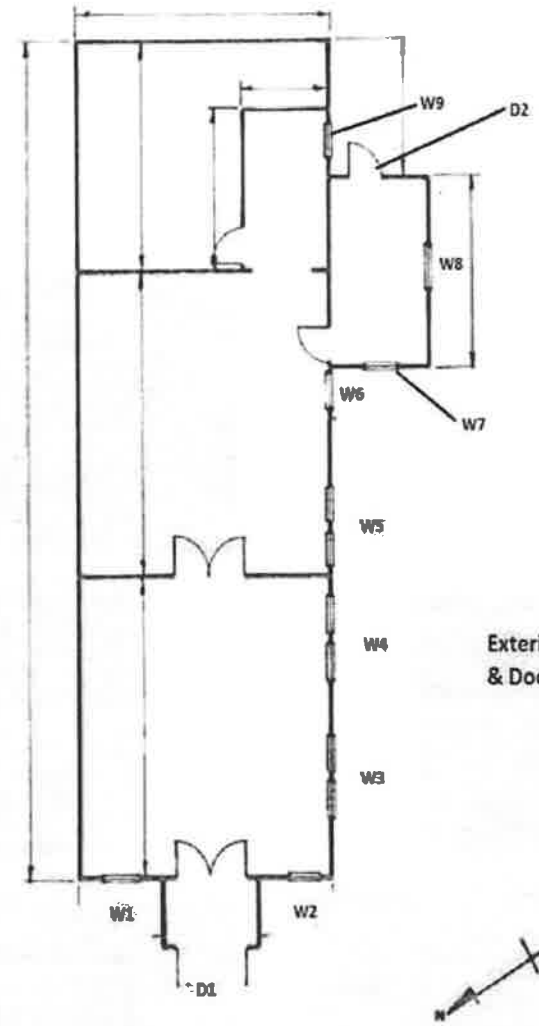
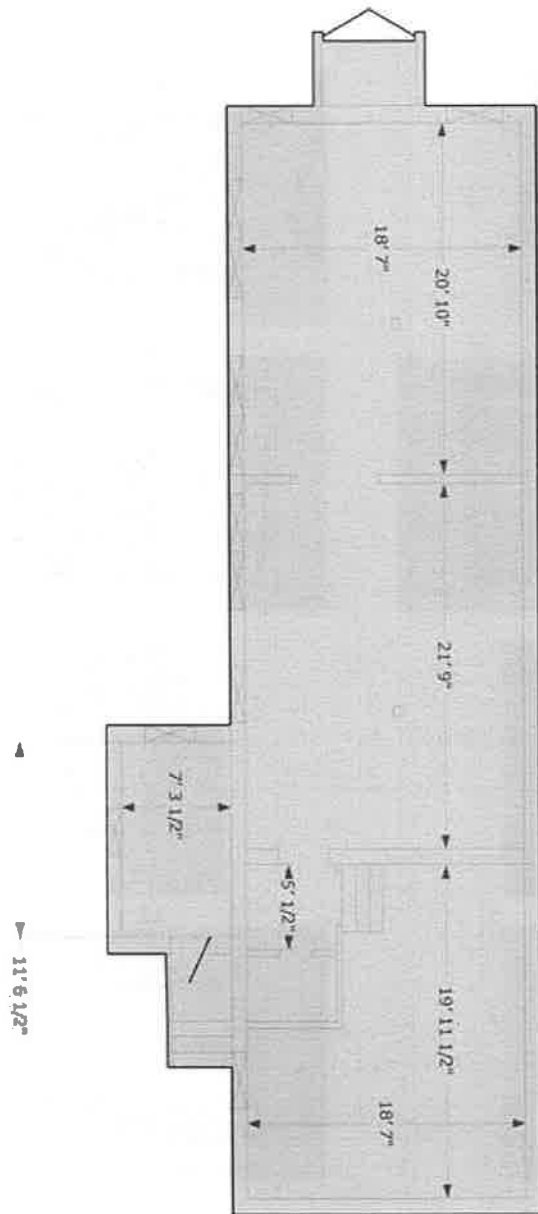
16.JPG

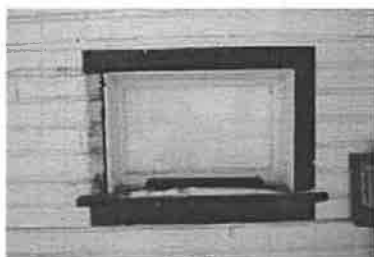


18.JPG

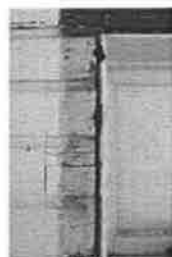


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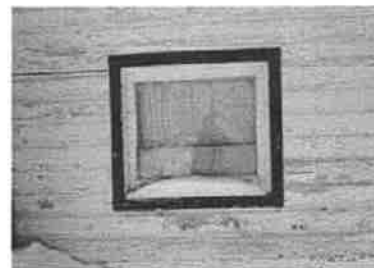




1.JPG



2.JPG



9.JPG



10.JPG



3.JPG



4.JPG



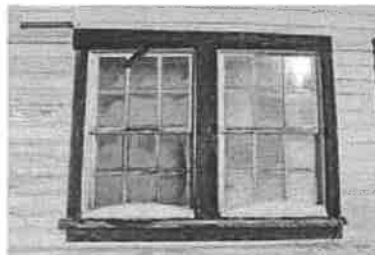
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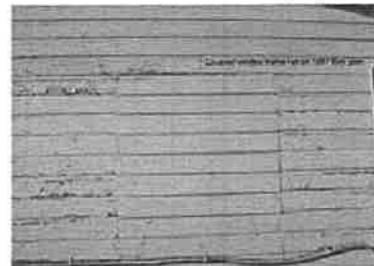
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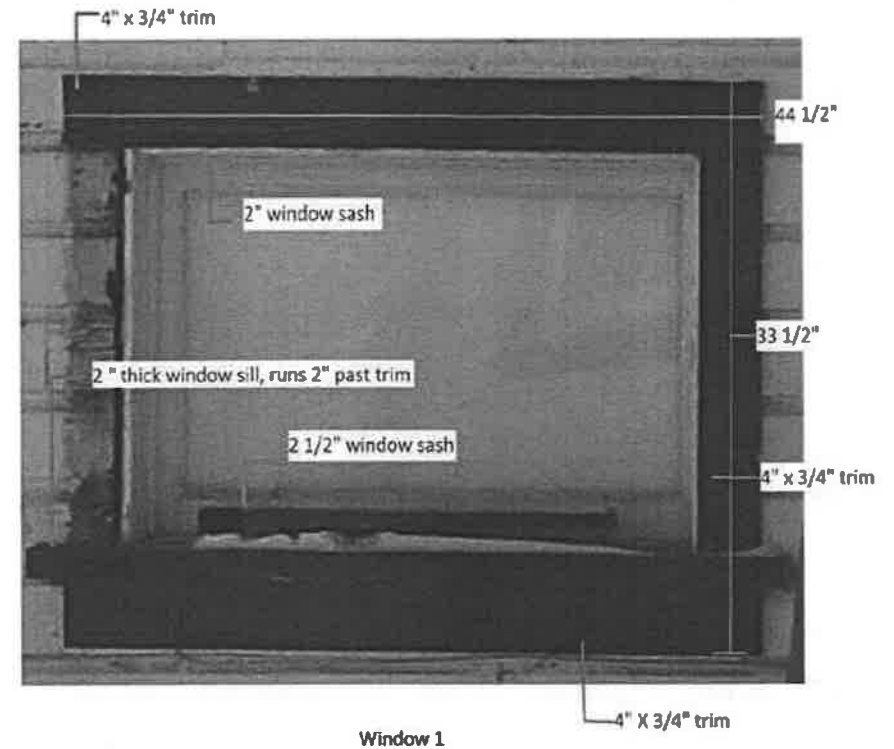
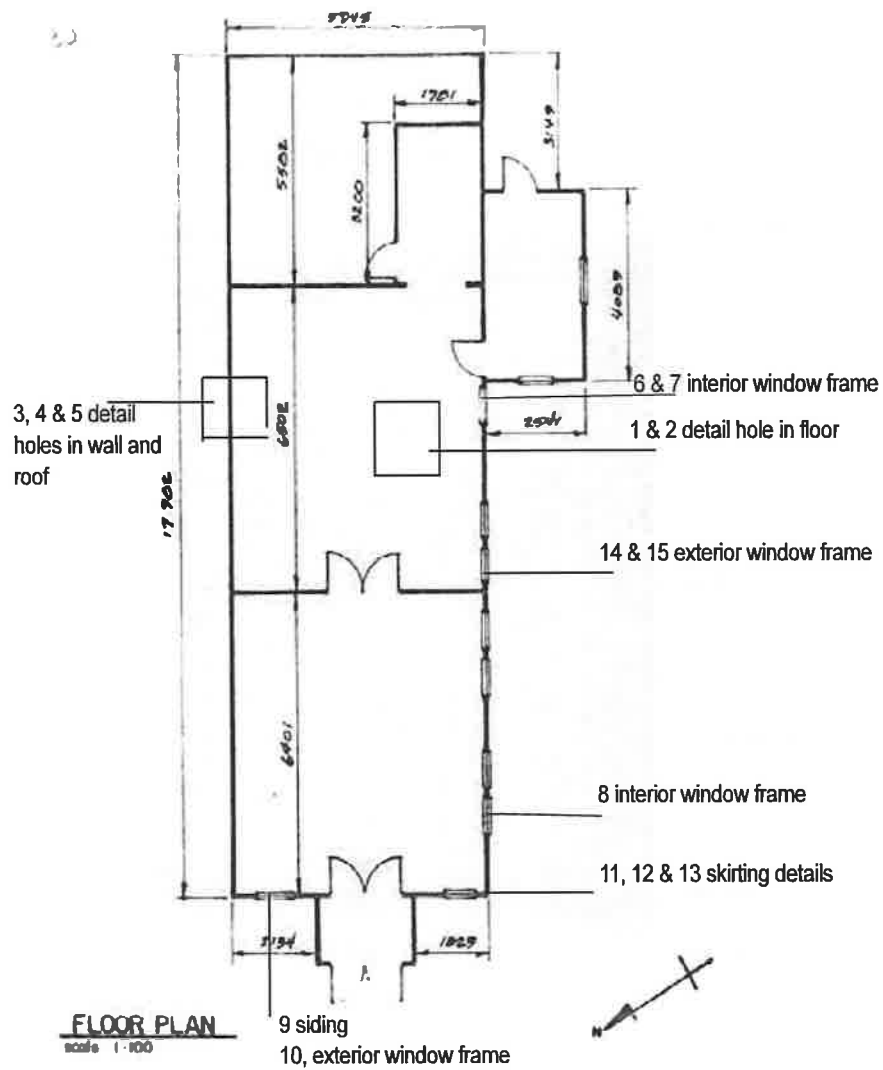
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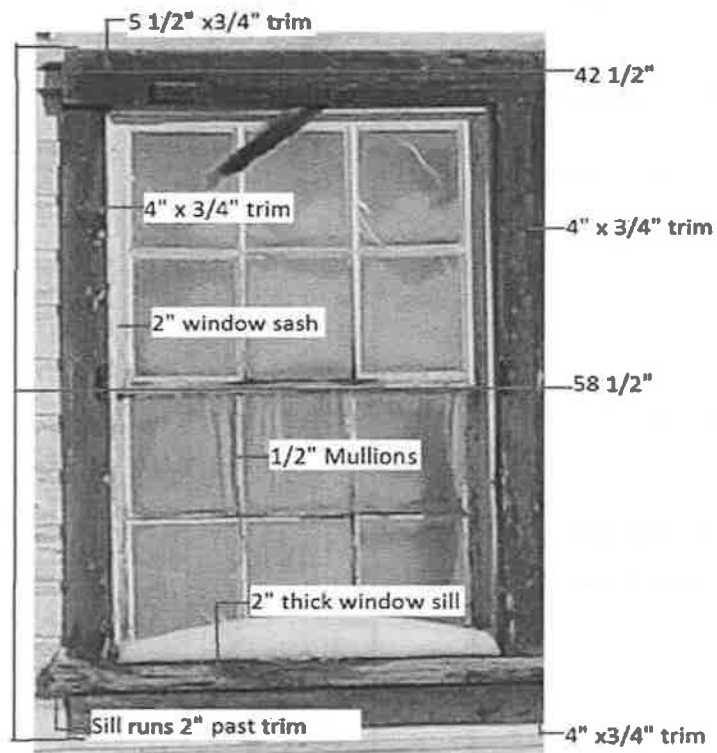
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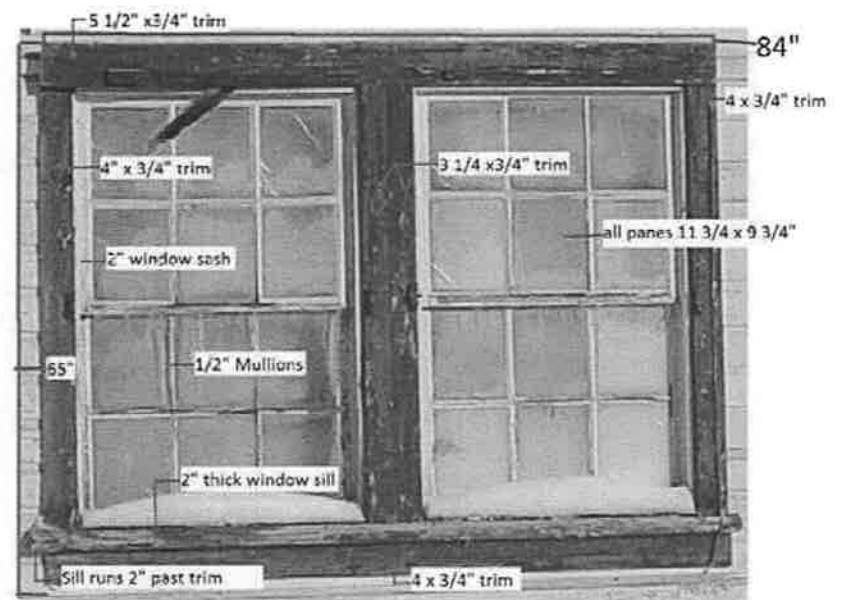
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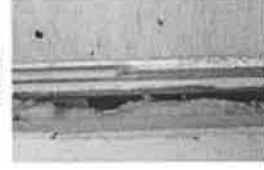
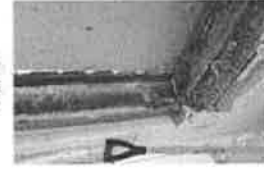
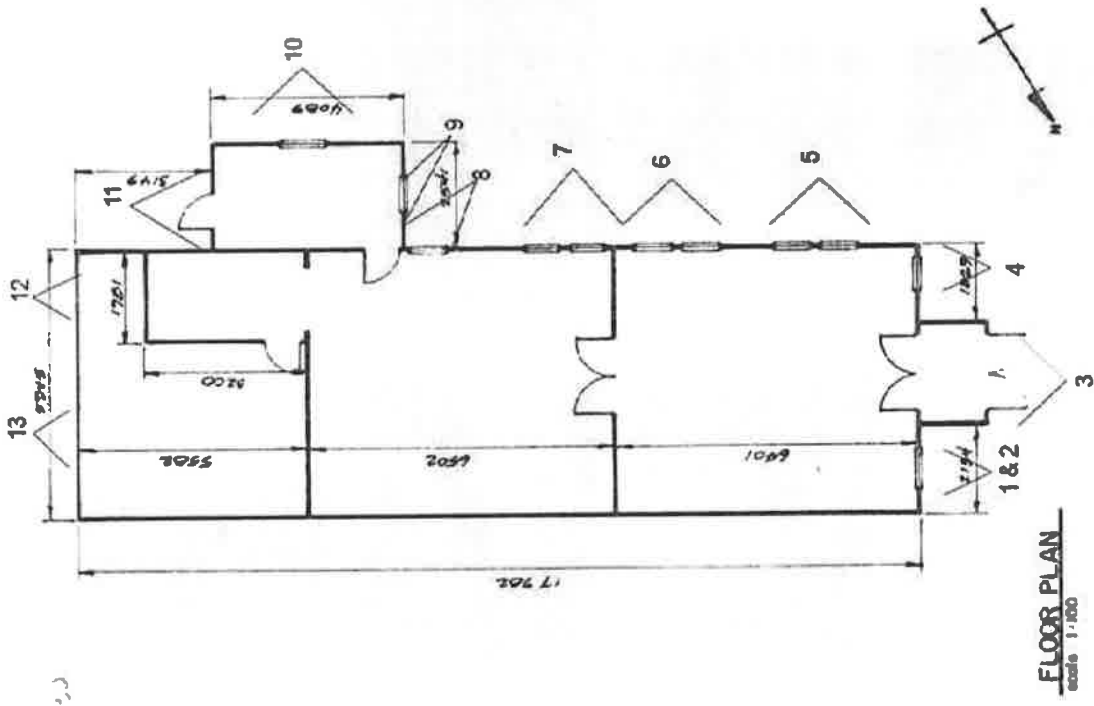
5 Floor plan, Conservation Lab. (K.N.H.S., 1987.)

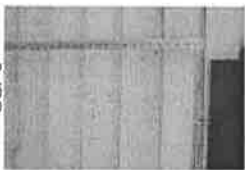


Window 2, 6



Windows 3, 4, 5





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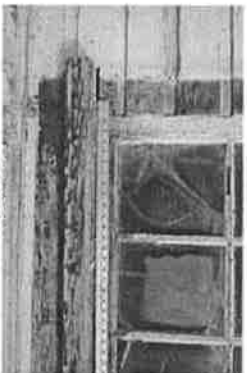
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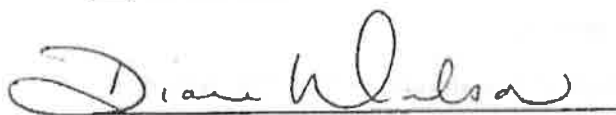
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Statement of Cultural Resource Impact Analysis

RECOMMENDATION to the FUS

We recommend that you approve the implementation of these mitigation measures.

- ☒ I concur
☐ I do not concur
☐ for discussion



Diane Wilson, Field Unit Superintendent

Yukon Field Unit

Date: May 22/18

For:

Project Title: Disposal of Conservation Lab

Project Number: N/A

Former Territorial Courthouse NHSC and
Dawson Historical Complex NHSC

In order to support the rehabilitation of the Former Territorial Courthouse NHSC, the Conservation Lab, a cultural resource of other heritage value, will be disposed of by demolition and replaced with a new mechanical building that will be designed to fit within the cultural landscape.

Date: April 6, 2018

Prepared by: Lisa Forbes, CRM Policy Advisor,
819-420-9233

The following aspects of the proposal respect or enhance the heritage value of the cultural resource for the following reasons:

In accordance with the Parks Canada Cultural Resource Management Policy (2013), prior to considering disposal, best efforts were made to rehabilitate the Conservation Lab to a new use as the mechanical room for the Former Territorial Courthouse NHSC. See Appendix A for the report "Demonstration of Best Efforts Prior to Disposal of Cultural Resource."

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the mitigation measures to be taken to minimise impacts:

The disposal of the Conservation Lab will change the cultural landscape surrounding the Former Territorial Courthouse. To minimise impacts, a heritage recording will be completed to preserve the public record and the void will be filled with a new building that uses the original footprint, has a similar mass and that uses colours and materials that complement the surrounding buildings. See Appendix B for "Design and Replacement Guidelines for the Conservation Lab".

The following solutions have been considered and discounted for the following reasons:

1. **Create a mechanical room within the Courthouse.** This is undesirable as it would impact the heritage character of a significant cultural resource. The Courthouse is (1) an NHSC in its own right; (2) a cultural resource of national historic significance within the Dawson Historical Complex NHSC; and (3) a Classified Federal Heritage Building.
2. **Add a new utility building behind the Courthouse.** This would negatively impact the cultural landscape surrounding the Courthouse by disturbing the spatial organization of the Government Reserve Lot.

3. **Rehabilitate the Conservation Lab to serve as the mechanical room.** This was the desired course of action because the Conservation Lab is currently vacant and falling into disrepair, but this option was found to be unfeasible.
4. **Dispose of Conservation Lab and build a new mechanical building in its place.** This option was considered only after it became clear that rehabilitation (option 3) was not a viable option due to the number of changes needed to suit its new use and the very poor condition of the building.

Recommendations:

1. **Conduct a Heritage Recording prior to demolition.** This is in order to meet section 7.2.5 of the Cultural Resource Management Policy which requires that all cultural resources be recorded and documented in order to preserve the public record.
2. **Use the "Design and Replacement Guidelines for the Conservation Lab" to design the new mechanical building.** The design and replacement guidelines will

minimize the impacts to the surrounding cultural landscape by ensuring that the new building conforms to the Cultural Resource Management Policy, the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010, 2nd ed.), and the *Design Guidelines for Historic Dawson* (1980).

3. **Undertake the CRIA process to mitigate archaeological and cultural landscape impacts.** An archaeological investigation is needed once the building has been dismantled to the foundation level. In addition, the new building design should be reviewed to ensure it fits within the cultural landscape and conforms to the "Design and Replacement Guidelines for the Conservation Lab".

Attachments:

Appendix A: Demonstration of Best Efforts Prior to Disposal of Cultural Resource (Parks Canada, 2018)

Appendix B: Design and Replacement Guidelines for the Conservation Lab (Parks Canada, 2018)

Report to Council



☒ For Council Decision ☐ For Council Direction ☐ For Council Information

| | | |
|--|--|---|
| SUBJECT: | Subdivision Application #18-107: Lot 1077-1 Klondike Highway | |
| PREPARED BY: | Clarissa Huffman, CDO | ATTACHMENTS: 1. Subdivision Application #18-107 2. Draft Plan of Subdivision |
| DATE: | December 4, 2018 | |
| RELEVANT BYLAWS / POLICY / LEGISLATION: | n/a | |

RECOMMENDATION

It is respectfully recommended that:

1. Council approve Subdivision Application #18-107 subject to the following conditions:
 - 1.1. The application successfully passes through a public hearing.
 - 1.2. The applicant submits a Stormwater Management Plan to the satisfaction of the CDO and Public Works Superintendent.
 - 1.3. Access easement as identified in plans to be registered on title.
 - 1.4. The applicant submits a plan of subdivision completed by a certified lands surveyor drawn in conformity with the approval.
 - 1.5. The applicant shall, on approval of the subdivision plan by the City of Dawson, take all necessary steps to enable the registrar under the Land Titles Act to register the plan of subdivision.

ISSUE

Subdivision Application #18-107 was received on September 6, 2018. The applicant is requesting to subdivide Lot 1077-1 Klondike Highway into 3 parcels of approximately 1 acre each.

BACKGROUND SUMMARY

The proposed subdivision will create 3 lots: Lot 1 (1.20 acres), Lot 2 (1.17 acres) and Lot 3 (1.74 acres). Lots 1 and 3 are previously developed as follows:

Lot 1: 2 Storage containers

Two accessory buildings exist on Lot 1 and conform to all Zoning Bylaw requirements. While they do not have development permits on file, Zoning Bylaw #80-08 was enacted during time of development which did not include the Valley, Bowl and Confluence area; therefore, the structures are considered legally non-conforming and do not impact this subdivision.

Lot 3: Shop & Residence

Two accessory buildings as well as the shop and residence exist on Lot 3. The exterior side setbacks of the residence and one of the accessory buildings do not meet current Zoning Bylaws. However, due to the construction date listed on the original building permit being November 5th, 1987, the construction complied to the Zoning Bylaws enacted during that time as the Valley, Bowl and Confluence area; therefore, the structures are considered legally non-conforming and do not impact this subdivision.



Figure 1. Proposed Subdivision Configuration

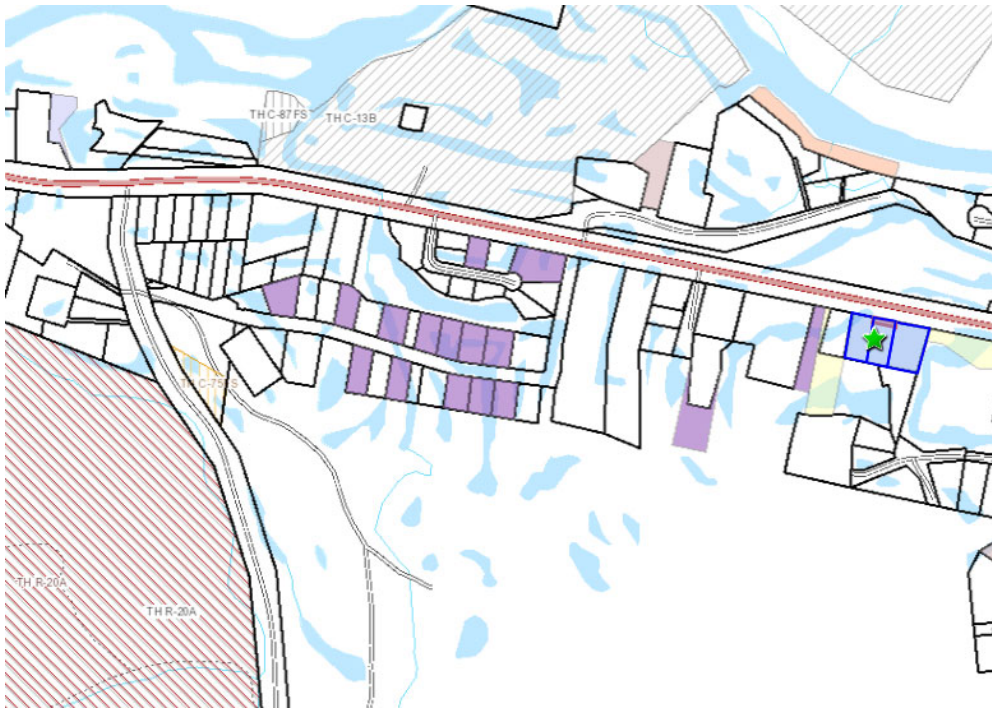


Figure 2. Location Map

Comments

The application was circulated to all department heads, and no negative impacts were identified. The application will be circulated to every property owner in a 1-kilometer radius of this property, inviting comments and questions. A public hearing will take place at a future upcoming meeting. It will be a condition of approval that the application passes successfully through this public hearing. If substantial concerns are raised, the application may be required to return to a future COW meeting.

Subdivision By-Law

Subdivision Control By-Law S3.01 states that every subdivision of land must be made in accordance with the Municipal Act, the Official Community Plan, the Zoning Bylaw, and the Subdivision Control Bylaw. The

Analysis/Discussion section of this report is intended to discuss the proposal's conformity with the provisions outlined in the relevant legislation, policies, and plans.

Municipal Act

The Municipal Act S. 314 details the requirements for any proposed plan of subdivision to have direct access to the highway to the satisfaction of the approving authority. Lot 1077-1 currently has one driveway. If additional driveways were proposed, Yukon Government Highways and Public Works (HPW) would be the approving authority. However, instead of creating new driveways, the applicant is proposing to create an access easement (Pictured in red on Figure 1). To legitimize this access, an access easement will need to be registered on title. The application was circulated to HPW to ensure that they are satisfied with this configuration, and no concerns were raised.


S. 319 stipulates that an approval may be valid for a period of up to twelve months. If the applicant has not provided proof that the conditions of approval have been met, under the Act approval is void. The applicant can request an extension of a further twelve months, which may be granted in whole or in part, at the discretion of the approval authority.

Official Community Plan

The property is currently designated as IND – Industrial. Uses associated with this designation include Industrial businesses such as the storage of materials, manufacturing and industrial support services. Therefore, the subdivided lots would retain the same designation. Any new use or development on the proposed lots would be required to conform to the OCP designation, or else apply for an OCP Amendment.

Zoning By-Law

The property is currently zoned M1 – Multi-Unit Residential. The Zoning By-Law is intended to implement the goals of the OCP. Therefore, the purpose of the M1 zone as per the Zoning By-Law is to permit Industrial businesses such as the storage of materials, cleaning & testing materials and the processing of raw materials. A full range of permitted uses and associated provisions are contained in the Zoning By-Law, and any future development of the proposed lots must also conform with the Zoning By-Law. As described above, proposed Lots 1 and 3 have existing developments and while not all are compliant with the current zoning bylaw, all have existing legally non-conforming status and do not impact this subdivision. As such, the subdivision can be approved as presented as it currently meets all the requirements for an M1 zone.

| APPROVAL | | |
|----------|--------------------|--|
| NAME: | Cory Bellmore, CAO | SIGNATURE:  |
| DATE: | Jan 17, 2019 | |



THE CITY OF DAWSON

Box 308 Dawson City, YT Y0B 1G0
PH: 867-993-7400 FAX: 867-993-7434
www.cityofdawson.ca



| OFFICE USE ONLY | |
|------------------|------------|
| APPLICATION FEE: | 330.75 |
| DATE PAID: | SEPT 06/18 |
| PERMIT #: | 18-107 |

SUBDIVISION/CONSOLIDATION APPLICATION

PLEASE READ THE ATTACHED INSTRUCTIONS, GUIDELINES AND SUBMISSION REQUIREMENTS PRIOR TO COMPLETING FORM.

PROPOSED DEVELOPMENT

CIVIC ADDRESS: 32376 N. Wind. Hwy VALUE OF DEVELOPMENT: _____

EXISTING USE OF LAND / BUILDINGS: RESIDENTIAL - Commercial

PROPOSED DEVELOPMENT: Please provide a brief description of the proposed development, including the legal description (lot, block, estate, plan) of each part to be subdivided/consolidated.

Subdividing of lot in lo. 3 PARCELS - see map attached.

APPLICANT INFORMATION

APPLICANT NAME(S): Walter Hinnek / ERICH RAUGUTH 9935365H

COMPANY NAME: eraufuth@gmail.com P01725 DAWSON CITY 9933038A

MAILING ADDRESS: BOX 247 POSTAL CODE: _____

EMAIL: WOHINNEK@gmail.com FAX #: _____

PHONE #: 9935228 ALTERNATE PHONE #: 8673394006

OWNER INFORMATION

OWNER NAME(S): Walter Hinnek

MAILING ADDRESS: PO 247 Dawson City POSTAL CODE: _____

EMAIL: wohinnek@gmail.com FAX #: _____

PHONE #: 9935228 ALTERNATE PHONE #: 8673394006

It is the responsibility of the applicant to ensure that all plans conform to the provisions of the City of Dawson Zoning Bylaw and applicable territorial and federal legislation.

FURTHER INFORMATION

ACCESS: Does the proposed development require additional access to any public road or highway? If yes, please name the road and describe the location of the proposed access.

Not required. current access will serve all 3 lots via easement. see map attached

ERICH

8679935365 - 3038

WATER: Is the land situated within 0.5 miles of a river, stream, watercourse, lake or other permanent body of water, or a canal or drainage ditch? If yes, please name the body of water and describe the feature.

TOPOGRAPHY: Describe the nature of the topography of the land (flat, rolling, steep, mixed), the nature of the vegetation and water on the land (brush, shrubs, tree stands, woodlots, etc., & sloughs, creeks, etc.), and the kind of soil on the land (sandy, loam, clay, etc.).

Flat on dredge tailings

EXISTING BUILDINGS: Describe any buildings, historical or otherwise, and any structures on the land and whether they are to be demolished or moved:

WORKSHOP and storage facility with living space - plus 2
containers with connecting roof structure.
all Buildings are located within the legal limits after the
proposed subdividing is completed

DECLARATION

- I/WE hereby make application for a Development Permit under the provisions of the City of Dawson Zoning Bylaw No. 12-27 and in accordance with the plans and supporting information submitted and attached which form part of this application.
- I/ WE have reviewed all of the information supplied to the City of Dawson with respect to an application for a Development Permit and it is true and accurate to the best of my/our knowledge and belief.
- I/WE understand that the City of Dawson will rely on this information in its evaluation of my/our application for a Development Permit and that any decision made by the City of Dawson on inaccurate information may be rescinded at any time.
- I/WE hereby give my/our consent to allow Council or a person appointed by its right to enter the above land and/or building(s) with respect to this application only.

I/WE HAVE CAREFULLY READ THIS DECLARATION BEFORE SIGNING IT.

Sep. 06 2018

DATE SIGNED



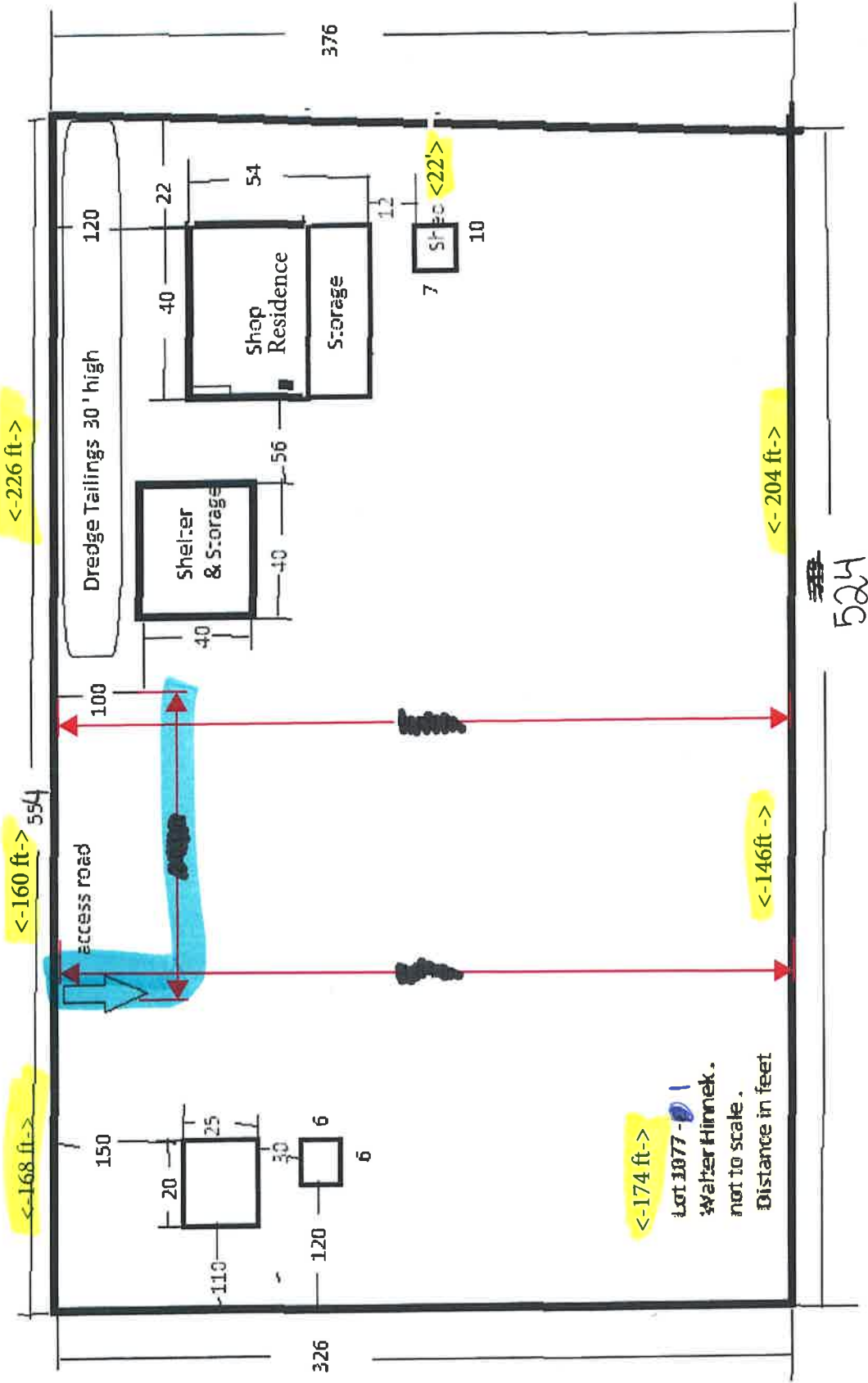
SIGNATURE OF APPLICANT(S)

Sep 06 2018

DATE SIGNED



SIGNATURE OF OWNER(S)



Report to Council



☐ For Council Decision ☐ For Council Direction ☒ For Council Information

☐ In Camera

| | | |
|---|-----------------------|--|
| SUBJECT: | North End Plan Update | |
| PREPARED BY: | Clarissa Huffman, CDO | ATTACHMENTS: 1. Dawson North End Draft Workplan 2. Reduced Development Area 3. Reduced Concept Options |
| DATE: | January 8, 2019 | |
| RELEVANT BYLAWS / POLICY / LEGISLATION: n/a | | |

ISSUE

After further analysis, Yukon Government is preparing to proceed with the next steps of the North End Plan, as explained in this briefing note.

ANALYSIS / DISCUSSION / ALIGNMENT TO OCP & STRATEGIC PRIORITIES

In October, Yukon Government identified that the plan was to proceed with Nodes 1 and 2 with Groundswell's Final Concept Plan (attached for reference). This was due to a technical review of the new proposed road cutting up to Third Ave; it was determined that this road would need to be significantly steeper than was apparent in the plans presented. This would mean higher capital and O&M costs, as well as substantial streetscape impacts (i.e. clearing, high levels of fill, shadows, impact on drainage on new and existing lots). Focusing on Nodes 1 and 2 would require focusing civil design on a smaller area, and would be based on a bleeder rather than a looped system. Yukon Government's recommendation was to abandon Node 3. Administration expressed to YG that we were comfortable with moving forward using a phased approach, but we were not prepared to 'abandon' Node 3.

This is supported in the following resolutions:

C18-34-02 Moved by Mayor Potoroka, seconded by Councillor Johnson that council direct Administration to proceed with further work, investigations and refinements on the North End Concept Plan with Yukon Government Land Development Branch allowing the area to be designed and developed in phases.

C18-34-03 Moved by Mayor Potoroka, seconded by Councillor Johnson that "with a focus on area one as described in RFD" be added at end of resolution. Carried 3-0
Main Motion Carried 3-0

Based on this, Yukon Government provided a reduced Phase I development area (attached). A surveyor was hired to do a topographical survey of the area to identify existing survey monuments, existing encroachments, as well as to provide topographical information for detailed design and drainage plans. Administration has impressed upon YG that it would be prudent to consider laying pipe all the way to Judge

Street in order to capitalize on the economies of scale provided by only needing to do the work once (rather than doing 2 blocks of pipe this year and another one block in a few years). YG said they would look into the potential of including this in the scope. Administration also suggested that this work could be classified as infrastructure upgrades rather than 'lot development' and thus potentially eligible for Infrastructure dollars. YG said they would look into this, but has yet to update Administration on the status of this request.

YG has also provided a draft workplan that they would like city staff and Council to comment on and agree to (attached).

Within the reduced study area, YG has commissioned a civil engineer to provide costing options for infrastructure. Part of this costing also includes a high-level traffic analysis to be included in the discussion, given that one of the areas that has not yet been given full consideration is the closing of Edward St. YG has decided to request costing based on configuration options A, B, and E from the Groundswell report (map attached). Administration expressed reservations about using configuration E as a costing option, given that it was the least supported by Council and the community (i.e. there was very little interest expressed, at any level, for multi-family in that location). YG responded to this by stating that they needed to consider it as an option because that location was the only lot in the planning area conducive to larger buildings:


"On the sub-options, I understand that sub-option E may not have been a desired option from Council's perspective, however because we've chosen to approach this development with YG as the developer and funder, I've been asked to include this lot configuration as an option at this time. We need to understand the costs and revenues associated with this kind of option in order to make an informed decision going forward. In order to do that, we need key information such as estimated development costs and anticipated revenues, along with the City/Council/Community input – all of which will be considered when making an informed decision. We aren't saying that this is the option we are proceeding with (and don't require any kind of actual zoning change at this time), we just need to understand the options in order to facilitate a decision on this. In light of this block of land being the only land within the entire study area that has favourable subsurface conditions which would allow a slab-on-grade type foundation system that could support multi-story development, I feel it's important to at least consider this as an option at this stage, and we can then make an informed decision when we have the information on costs and revenue potential. And it can be documented/justified as to why we decided whatever gets decided on this..."

...The rationale for choosing option E was because we wanted to limit the number of lot configurations to 3 options and the 3 that were chosen provide a good range of the potential configurations at this location. Options C and D were considered to be variations of the other 3 more clear/direct options. By obtaining servicing options for the 3 chosen options (A, B & E), this should give us sufficient information even if we were to choose a configuration such as shown in options C or D. However, I don't feel that option C would even be a viable option, since the servicing would all come from 2nd Ave and I expect servicing easements to service those lots only accessible off Front Street would leave the 2nd Ave accessed lots with very little developable area (due to the necessary width of the servicing easement – it needs to be of a width that allows equipment for maintenance purposes, and these are fairly small lots). From YG's side, there has been some discussion about looking at this block as one or two large lots, but I understand this is not a desired option from the City's perspective, so I felt that option E was more of middle-ground option. What we are trying our best to manage is fiscal/financial responsibility and development potential/possibility"

Finally, it was noted that the revised development area is comprised of lots owned either privately or by the City of Dawson (all YG lots in the planning area are outside the revised development area). However, given that YG has identified that they are both the developer and funder of this project, they expect to be retaining all revenue from the sale of the lots in order to achieve cost recovery on this project, which would be covered off in the development agreement. YG is planning to complete construction on this project in Summer 2019.

At a high level, the next steps include the following:

1. Civil Design Options
2. Decide on a configuration option based on civil design options
3. Environmental Risk Assessment
4. Development Agreement between CoD and YG

| APPROVAL | | |
|--------------|--------------------|--|
| NAME: | Cory Bellmore, CAO | SIGNATURE: |
| DATE: | January 17, 2019 |  |

Dawson North End Development Workplan

Last updated: December 12, 2018

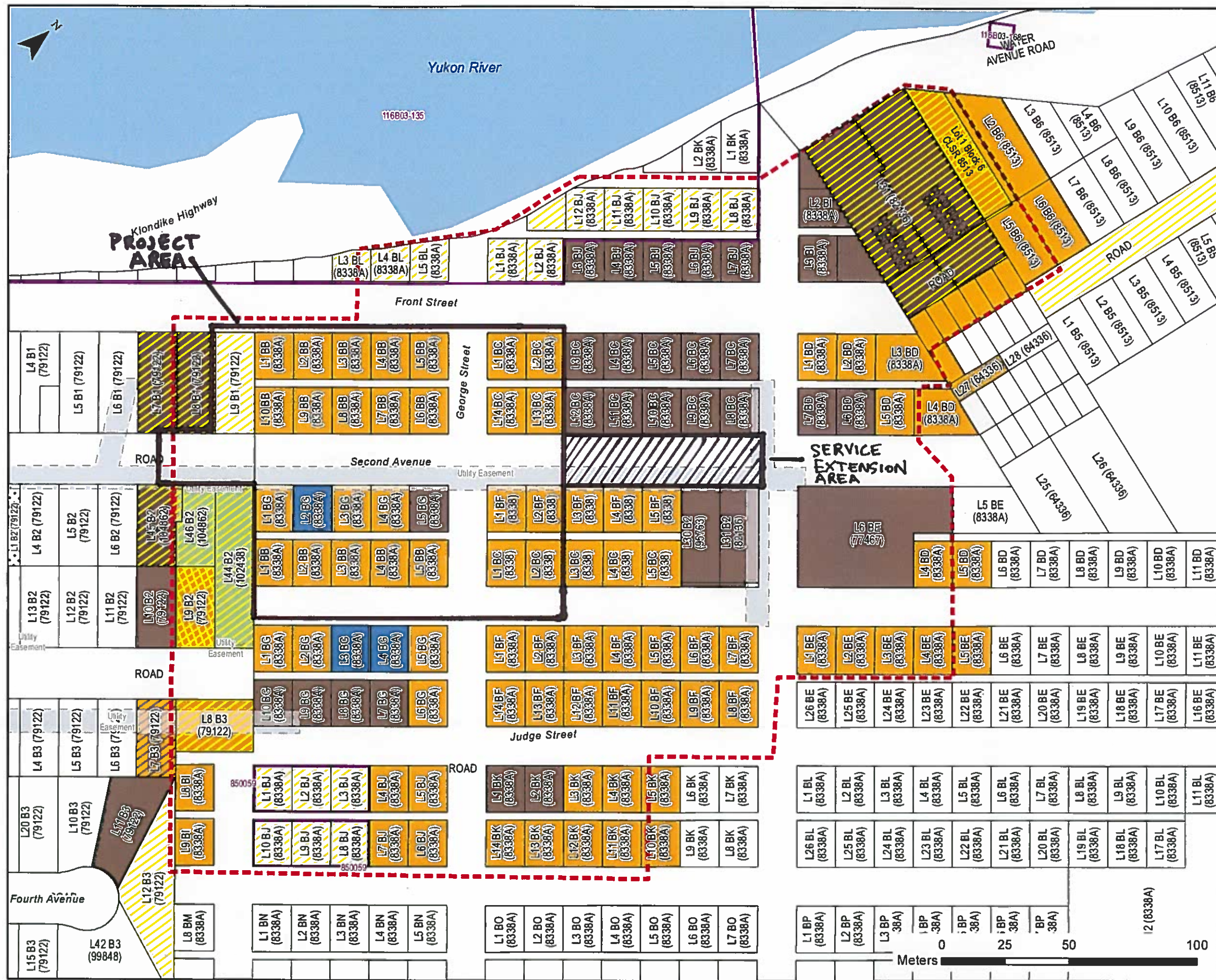
Prepared by: Kevin Fisher, Rural Land Development, Community Services

Proceeding with development within the "reduced development area" shown on the attached drawing (referred to as the "project area" throughout this workplan)

| Task | Anticipated Timeline | Status | Details | COD Input/Responsibilities |
|--|-----------------------|-------------------------|---|---|
| 1. Phase II ESA | August - Dec 2018 | finalizing report | - completion of the Phase II Environmental Site Assessment | - COD required to acknowledge the environmental liabilities on their land and understand the impacts of proceeding with development; - COD responsible for any communications with the Community regarding environmental findings and liabilities, and addressing these issues through future development permits on new lots created by this development |
| 2. Topographical survey and encroachment review | Dec. 2018 – Feb. 2019 | preparing contract | - completion of a topographical survey that is necessary for detailed civil engineering design, as well as a review and confirmation of all encroachments within the project area | - may require COD assistance in contacting impacted existing residents in the area and identifying known encroachments to be confirmed through this work |
| 3. Servicing Options review & Preliminary Civil Design | Dec. 2018 - Feb. 2019 | preparing call for work | - review of lot configuration options within the project area and associated options to provide servicing (water, sewer and drainage/storm water management) for the lots - review of the proposed water system with respect to a bleeder system versus a looped watermain system - consideration of extending services beyond the project area to the end of 2nd Avenue at Judge Street, with costs identified. Understanding the costs involved to service existing lots beyond the project area will allow YG and the City to identify funding options such as Local Improvement Charges (LIC's), federal infrastructure funding, or other funding sources; - high level traffic analysis; - preliminary drainage design for the project area; - may flag a need for more geotechnical work which might be required for detailed design | - input needed on lot configuraitons and servicing options - input needed on design standards - input needed on funding options and COD responsible for determining LIC's and addressing this with existing residents - input needed on how to address drainage issues on individual lots created (potential for specific requirements to be added to individual lot development permits) - COD emergency services review to ensure any concerns are addressed in the final concept - COD to address any zoning or subdivision issues that may arise as part of determining the final lot configuration for this development |

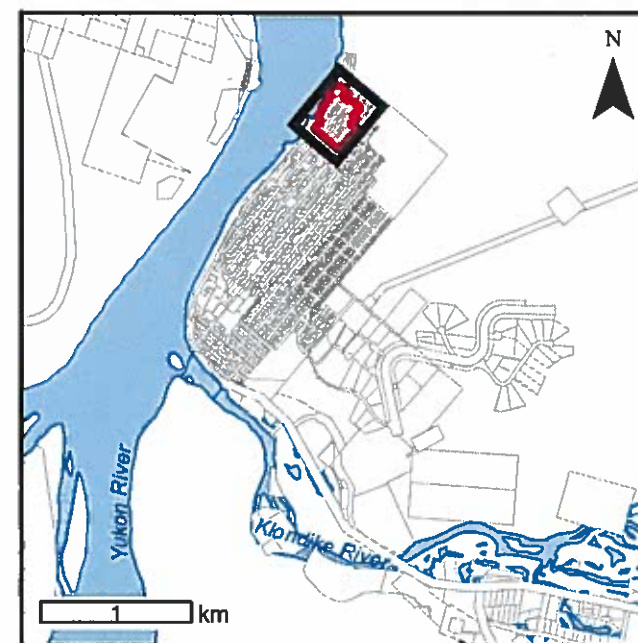
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| 4. Consultation with Community | February 2019 | if COD feels this is necessary | - consult with Community on final approved concept that we will proceed with detailed design for and implementation - consult with Community on assessments completed and findings | - COD responsibility |
| 5. Address Environmental Issues / Screening Level Risk Assessment | January - May 2019 | determining next steps, confirming if screening level risk assessment is appropriate | - anticipate proceeding with a screening level risk assessment to determine if environmental contamination can be left in place and the risk to human or aquatic life can be mitigated, and if so, what mitigation measures will be required. Mitigation measures may impact civil engineering design and overall project costs; - NOTE: Environmental Issues may be a project show-stopper. There may be issues with the sale of contaminated land as the current legislation in the Environment Act does not allow for the transfer of environmental liability. This workplan has been prepared with the assumption that the lands can be sold and will need to be updated/revised if it's determined that the land cannot be sold due to contamination or the inability to manage the risks associated with the contamination. As more information is received regarding the environmental status of the project area and surrounding lands, the workplan may need to be revised to account for additional work required. | - will require COD input on findings and decisions going forward regarding addressing environmental contamination and liabilities within the project area - COD responsible for any communications to Community on environmental contamination or related issues |
| 6. Consultation with Trondek Hwechin | February - April 2019 | TH was notified about this project early on in the assessment work | - consult with TH once we have the final lot configuration and servicing concept - this is expected to an informal consultation and likely at more of a high-level broader land development perspective (ie. not just the North End Development project) | - COD expected to be involved in these discussions |
| 7. Development Agreement with COD | February - March 2019 | | - development agreement required with the City to formalize development responsibilities and define the process for review/sign-off on the design, the formal transfer of infrastructure upon substantial completion of the construction (servicing) works, and the financial transaction for recovery of development costs | - COD fully involved in creating development agreement |
| 8. Market Value Appraisals | March 2019 | | - complete market value appraisals on all new lots to be created, based on final lot configuration determined through preliminary civil engineering design | |
| 9. Address Encroachments within the project area | February - June 2019 | | - City of Dawson to address/rectify encroachments through their bylaws once they have been identified through the survey and encroachment review work - all negotiations with existing property owners will be the responsibility of the COD; - further discussion may be required if assistance is needed from YG to address encroachments. | - COD responsible for this task |
| 10. YESAB process (placeholder only) | not planned for at this time | discussions happening to determine if an assessment will be required | - it appears that a YESAB assessment may not be required for this project, however we are currently looking into whether the work may require a water license which could trigger a requirement for an assessment. This workplan will be updated should an assessment be deemed required. | - if required, COD will be the proponent in the YESAB submission, as they are the land owner. Input into the YESAB application will be required, but will be guided by YG |
| 11. Detailed Engineering Design & Construction Tender Documents | March - April 2019 | | - preparation of detailed engineering design and construction tender document preparation for tendering | - input may be required by COD as engineering design is finalized - COD to sign-off/approve civil design, for implementation |

| | | | | |
|---------------------------------|--------------------|--|---|--|
| 12. Management Board Submission | April - May 2019 | | <ul style="list-style-type: none"> - submission to Management Board required after completion of detailed design and prior to issuing the tender for the civil works (servicing installation) - requires identifying anticipated (Class A estimate) project costs, revenues and any expected write-off's | |
| 13. Tender of Civil Works | May - June 2019 | | - anticipate 3 week tender | |
| 14. Construction - Civil Works | June - August 2019 | | - includes servicing installation (water and sewer) and addressing drainage / stormwater management | <ul style="list-style-type: none"> - COD responsible for any communications with impacted resident - COD Public Works coordination required - formal transfer of infrastructure to COD for operations and maintenance at substantial performance of construction contract |
| 15. Survey - new lots | March - July 2019 | | - survey and registration at Land Titles Office of all new lots created | - COD will need to approve subdivision/consolidation of lots |
| 16. Pricing of Lots | August 2019 | | <ul style="list-style-type: none"> - YG to set sale price based on review of development costs and market value, in consultation with the COD - further discussions may be necessary | - COD to be consulted on sale price determination |
| 17. Land Lottery | September 2019 | | <ul style="list-style-type: none"> - land lottery to sell the lots (COD responsibility) - YG/LMB to assist with lottery document template, information, process, etc., as needed | - COD responsible for this task |
| 18. Agreement for Sale | October 2019 - ?? | | <ul style="list-style-type: none"> - COD to prepare and administer the Agreement for Sale process for all new lots sold through this development - YG/LMB to offer support to COD on Agreement for Sale process, past examples/templates, and general information or lessons learned from past sales - currently does not have an end date defined in the schedule, as it hasn't been determined how long the agreement for sale will be (ie. 3 year or 5 years, or whatever is decided) | <ul style="list-style-type: none"> - COD responsible for this task - may require legal advice, if COD feels it's needed (COD responsible) |



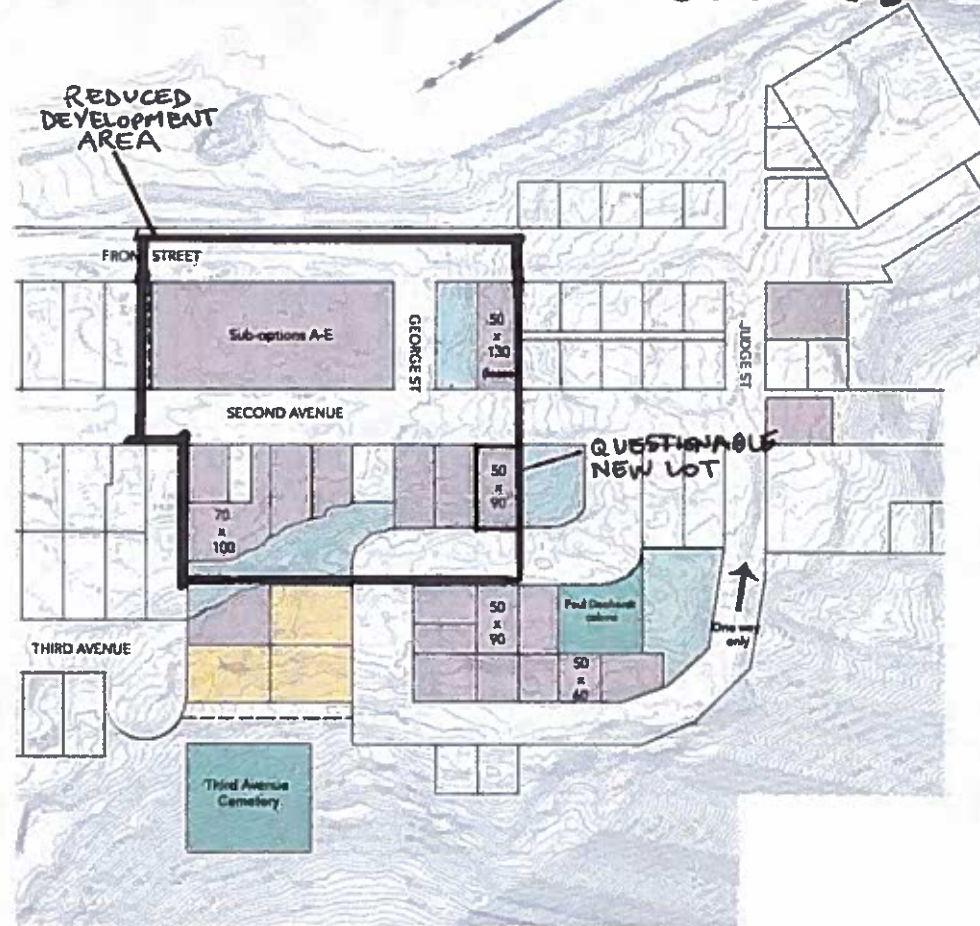
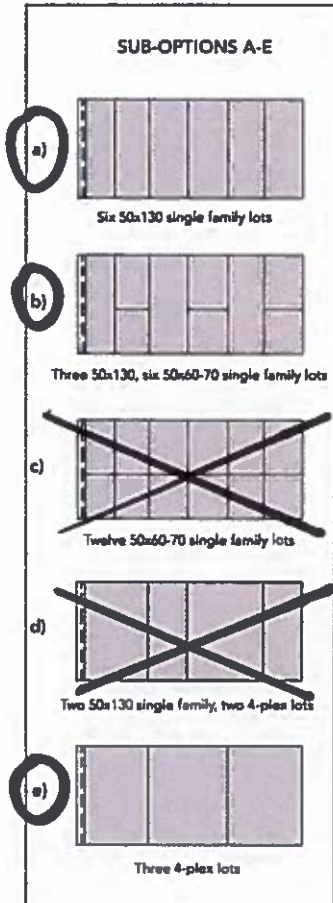
City of Dawson North End Study Area Land Availability January 04, 2017

- Study Area
- Disposition
- Agreement For Sale
- Easement
- Mixed Titled Land
- Private Land
- Private Land (w/ underlying title)
- City of Dawson Land
- Commissioner's Land - Titled
- Commissioner's Land - Untitled
- Settlement Land





DEVELOPMENT CONCEPT #2 LOT CONFIGURATION OPTIONS



SCALE: 1:1000



CONCEPT #2 SUMMARY

- 22-31 lots available for sale
- Distribution of lot sizes outside of Front Street block (sub-options A-E):
 - Small - 4
 - Medium - 13
 - Large - 2
- Potential for 29 - 37 housing units total (including Front Street block)
- 1 City lease for affordable micro housing project

EXPLANATORY NOTES

1. Concept is presented for discussion purposes; final results may vary.
2. Some lot sizes indicated are estimates only. Dimensions are indicated in feet.
3. Historical survey in planning area is completed primarily of 50x60 ft lots.
4. Numerous surveyed lots in the planning area are not highlighted and considered anonymous to concept review.
5. George Street would be widened.
6. Lot size categories are approximate as follows:
 - Small - 50 x 60 ft
 - Medium - 50 x 90 ft
 - Large - 50 x 130 ft
7. Housing unit estimates assume:
 - Lots zoned for four-plexes are built out accordingly
 - A maximum of one secondary suite permitted on larger lots only
 - Micro-housing project accommodates 4 units
8. Assumes that encroachments impeding new development are addressed

THE CITY OF DAWSON

Request for Decision



TO: Mayor and Council
FROM: CAO, Cory Bellmore
DATE: Jan 18, 2019
SUBJECT: Travel Authorization – Canadian Association of Municipal Administrators annual conference

RECOMMENDATION

THAT Council approves travel for CAO Bellmore to attend the annual CAMA & FCM conferences and Annual General Meetings

PURPOSE

To attend the CAMA conference and AGM in Quebec City, CAMA May 27 – 29, 2018 and FCM May 30 – June 2

BACKGROUND

As per Travel policy #08-01, 4.c. CAO travel outside the Yukon must be approved by council resolution.

CONSIDERATIONS / DISCUSSION

The annual CAMA conference and AGM provides numerous opportunities for networking with municipal peers, learning of best practices, and upcoming policy decisions affecting municipal administration and governance. Attendance at the FCM conference and AGM also provides numerous opportunities for networking as well as access to a very large supplier network for municipal goods and services

IMPLICATIONS

General:

Staffing: Staff work load requirements / changes

Financial: In the past few years, YG has supplemented CAO travel to CAMA through a financial transfer agreement with AYC where each community could supplement this travel. YG community affairs is interested in continuing to support CAO's to attend this

conference, the value available to each municipality to attend will be based on overall attendance from all the communities. It is not yet known how many CAO's will be attending this year so the total supplement is not yet known.

Policy / Legislated Requirements: Travel policy #08-01

Legal: none

Follow up Action: Timelines / decision making milestones and key products

| |
|------------------------------------|
| APPROVAL & CAO COMMENTS |
|------------------------------------|

Cory Bellmore, CAO

Date: Jan 18, 2019